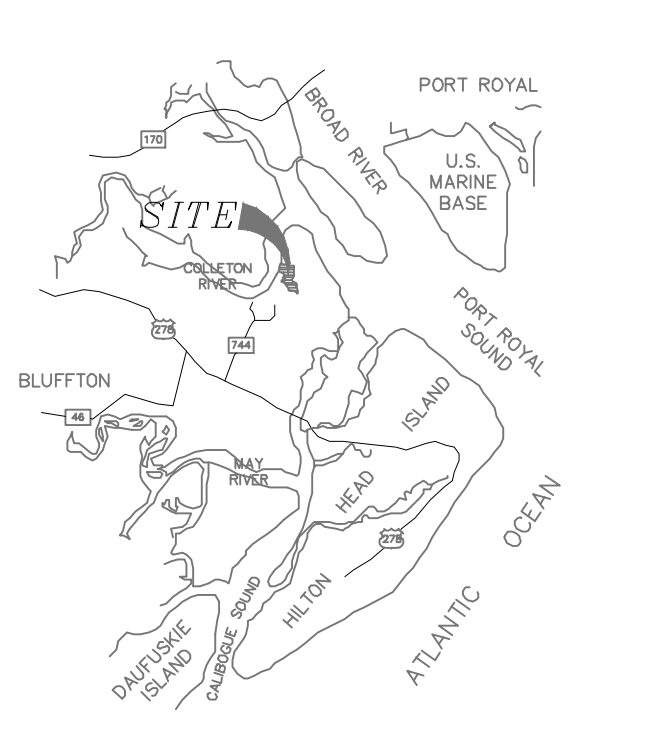


ABBREVIATIONS:

AB	ANCHOR BOLT	LAM	LAMINATE
ABV	ABOVE	LL	LIVE LOAD
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ASF	ABOVE SUB-FLOOR	LIN	LINEN
A/C	AIR CONDITIONER	MA	MASONRY
AHU	AIR HANDLING UNIT	MAS	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
AMSL	ABOVE MEAN SEA LEVEL	MECH	MECHANICAL
APPROX	APPROXIMATE	MED	MEDIUM
BD	BOARD	MFR	MANUFACTURER
BF	BI-FOLD	MID	MIDDLE
BLKG	BLOCKING	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MUL	MULLION
BOD	BASIS OF DESIGN	N/A	NOT APPLICABLE
BRG	BEARING	N.I.C.	NOT IN CONTRACT
BTW	BETWEEN	NTS	NOT TO SCALE
CAB	CABINET	OC	ON CENTER
CANT	CANTILEVER	OD	OUTSIDE DIMENSION
CEN	CENTER	OH	OVERHANG
CIP	CAST-IN-PLACE	OPNG	OPENING
CJ	CEILING JOIST	OSB	ORIENTED STRAND BOARD
CL	CENTERLINE	PAF	POWER-ACTUATED FASTENER
CLOS	CLOSET	PDE	POP-UP DRAIN EMITTER
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CM	CASEMENT	PL	PLATE
CO	CASED OPENING	PNL	PANEL
COL	COLUMN	PNT	PAINT
CONC	CONCRETE	PMEJ	PRE-MOULDED
CT	CERAMIC TILE		EXPANSION JOINT
DBL	DOUBLE	PR	PAIR
DEMO	DEMOLISH	PT	PRESSURE TREATED
DH	DOUBLE HUNG	PVC	POLYVINYLCHLORIDE
DIA	DIAMETER	PVMT	PAVEMENT
DIM	DIMENSION	PLY	PLYWOOD
DIST	DISTANCE	PWDR	POWDER ROOM
DN	DOWN	R	RADIUS
DR	DOOR	R & S	ROD & SHELF
DW	DISHWASHER	RAG	RETURN AIR GRILL
DWG	DRAWING	REF	REFRIGERATOR
EA	EACH	REQ'D	REQUIRED
ELEV	ELEVATION	RM	ROOM
ELEC	ELECTRICAL	RV	RIDGE VENT
EQ	EQUAL	SAF	SELF-ADHERED FLASHING
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXST	EXISTING	SECT	SECTION
EXT	EXTERIOR	SF	SQUARE FEET
FD	FLOOR DRAIN	SH	SHELF
FDN	FOUNDATION	SIM	SIMILAR
FDTN	FOUNDATION	SND	SANITARY NAPKIN DISPENSER
FF	FINISH FLOOR	SPEC	SPECIFICATION
FFE	FINISH FLOOR	SF	SQUARE FEET
	ELEVATION	STD	STANDARD
FIN	FINISH	STL	STEEL
FIX	FIXTURE	STOR	STORAGE
FIXT	FIXTURE	SYS	SYSTEM
FLUOR	FLUORESCENT	T	TREAD
FLR	FLOOR	T.O.	TOP OF
FRZ	FREEZER	TR	TREATED
FRMG	FRAMING	T & G	TONCUE & GROOVE
FT	FEET	TEL	TELEPHONE
FTG	FOOTING	TEMP	TEMPORARY/
GA	GAUGE		TEMPERATURE
GALV	GALVANIZE	THK	THICK
GL	GLASS	TV	TELEVISION
GYP	GYPSUM	TPH	TOILET PAPER HOLDER
GWB	GYPSUM WALL BOARD	TYP	TYPICAL
HB	HOSE BIBB	UC	UNDER-COUNTER
HDR	HEADER	UNFIN	UNFINISHED
HORIZ	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
HT	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INSIDE DIMENSION	VB	VAPOR BARRIER
IN	INCH	VER	VERIFY
INCL	INCLUDE	V.I.F.	VERIFY IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	WD	WOOD
JST	JOIST	W/D	WASHER-DRYER
JNT	JOINT	WH	WATER HEATER
KS	KNEE SPACE		

VICINITY MAP | NTS



PROJECT TEAM:

DISCIPLINE	NAME	LICENSE:	PHONE NO:
ARCHITECT	DePAUW ARCHITECTS	101932	(843) 284-7848
LANDSCAPE	EARTHWORKS	1434	(843) 645-3300
STRUCTURAL			

BUILDING CODES:

APPLICABLE CODE:	2021 IRC W/ SC MODIFICATIONS
JURISDICTION:	BEAUFORT COUNTY
CONSTRUCTION TYPE:	V-B

FLOOR AREA CALCULATIONS:

MAIN HOUSE:

GROUND FLOOR:	
HEATED & COOLED:	359 SF
COVERED & ENCLOSED:	2,476 SF
FIRST FLOOR:	
HEATED & COOLED:	2,234 SF
COVERED & ENCLOSED:	601 SF
SECOND FLOOR	
HEATED & COOLED:	1,765 SF
COVERED & ENCLOSED:	163 SF
TOTAL:	
HEATED & COOLED:	4,358 SF
COVERED & ENCLOSED:	3,240 SF

NOTES:

NOTICE TO PERMITTING AUTHORITY & BUILDING OWNER REGARDING CONSTRUCTION ADMINISTRATION SERVICES: THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SC CODE OF REGULATIONS CHAPTER 11-12.B(5).
ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.
GENERAL NOTES: THE FOLLOWING DOCUMENTS ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS. SEPARATE MECHANICAL, ELECTRICAL, AND/OR PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS. SEPARATE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, PLANTING LAYOUTS, HARDSCAPE DETAILS AND OTHER RELATED SITE WORK REQUIREMENTS. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. THE FOLLOWING DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT AS DEFINED UNDER SECTION 102 OF THE COPYRIGHT ACT (TITLE 17 OF THE UNITED STATES CODE). DIMENSION NOTES: ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, & FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N. PLUMBING NOTES: G.C. TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTORS PRIOR TO PLACING SLAB. G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS. FOUNDATION NOTES: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS & REINFORCING, AND CONNECTION DETAILS. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4. UNLESS OTHERWISE NOTED BY STRUCTURAL ENGINEERING DOCUMENTS, THE FOUNDATION IS TO BE AS FOLLOWS: TYPICAL SLAB ON GRADE: SLAB ON GRADE TO BE 4" THICK, CAST IN PLACE CONCRETE REINFORCED WITH ONE LAYER OF 6x6-W/4xW/4 WWM OR 15 PCY OF FIBER REINFORCING ON 10 MIL. POLYETHYLENE VAPOR BARRIER, TURNED DOWN EDGE TO BE A MINIMUM OF 20"x20", EXTENDING A MINIMUM OF 12" INTO UNDISTURBED SOIL, AND REINFORCED WITH (2) #5'S OR (3) #4'S CONTINUOUS.

TYPICAL THICKENED SLAB: PROVIDE THICKENED SLAB FOOTINGS BELOW ALL WALLS THAT SUPPORT ROOF AND/OR FLOOR LOADS FROM ABOVE. THICKENED SLABS TO BE A MINIMUM OF 20"x12" AND REINFORCED WITH (2) #5'S OR (3) #4'S CONTINUOUS. ALL TOP OF WALL NOTES ARE TO THE TOP OF CMU BLOCK U.O.N. AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN OR EQUAL) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL. FRAMING NOTES: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS, AND CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT & CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL. WALLS: EXTERIOR: 1/2" PLYWOOD SHEATHING AT EXTERIOR SIDE ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. DOORS & CASED OPENINGS TO BE CENTERED BETWEEN ADJACENT WALL FRAMING, UNLESS OTHERWISE DIMENSIONED. FIRST FLOOR SYSTEM: CONCRETE SLAB FLOOR WITH ¾" ENGINEERED HARDWOOD FLOOR INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER 10 MIL. POLYETHYLENE VAPOR BARRIER TYP. SECOND FLOOR SYSTEM: ¾" T&G PLYWOOD, GLUED AND NAILED ON 16" MANUFACTURED OPEN WEB TRUSS JOIST SYSTEM. BONUS FLOOR SYSTEM: ¾" T&G PLYWOOD, GLUED AND NAILED ON 16" MANUFACTURED OPEN WEB TRUSS JOIST SYSTEM. PORCH FLOOR SYSTEM: CONCRETE SLAB FLOOR WITH TABBY FINISH AND BRICK ROWLOCK BORDER ATTIC FLOOR SYSTEM: EXTENT TO BE DETERMINED BY G.C./OWNER - ¾" T&G PLYWOOD, GLUED AND NAILED ON 2x12 FRAMING. CEILING JOISTS: 2x8 FRAMING (2x10 FOR CERTAIN SPANS). ROOF RAFTERS: ¾" EXT SHEATHING, NAILED ON 2x8 ROOF FRAMING (BRACED AT MID-SPAN WHERE REQUIRED) WITH SIMPSON HURRICANE CLIPS. CABINET & EQUIPMENT NOTES: CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. G.C./OWNER TO DETERMINE EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS WITH APPROPRIATE SUBCONTRACTORS AND DESIGNERS. FINISH NOTES: G.C./OWNER TO DETERMINE ALL FLOOR, WALL, & CEILING FINISHES AND INTERIOR TRIM. G.C. TO ADJUST SLAB HEIGHT AND FRAMING LOCATIONS AS REQUIRED TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.
--

DRAWING INDEX:

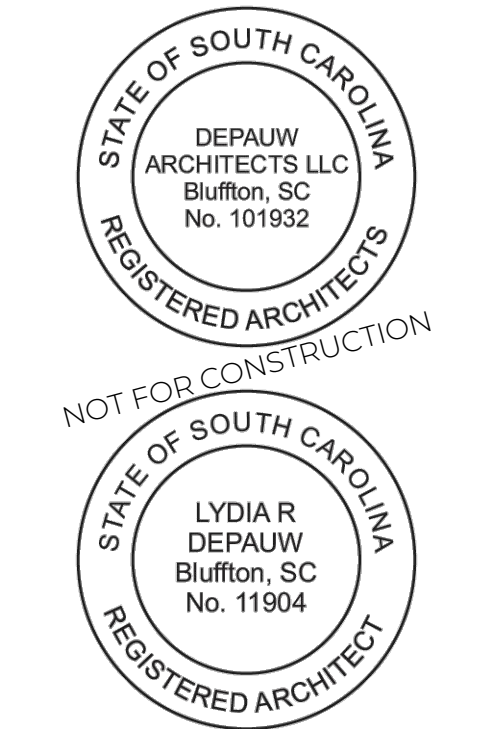
SHEET #	SHEET DESCRIPTION	11.04.25 PRELIMINARY ARB REVIEW	12.2.25 FINAL ARB REVIEW
GENERAL			
A001	COVER	■	■
SURVEY			
SURVEY			
ARCHITECTURAL SITE			
AS101	SITE PLAN	■	■
AS102	STREETSCAPE ELEVATION	■	■
LANDSCAPE			
L-1	DRAINAGE, HARDSCAPE & LANDSCAPE		■
L-2	PLANTING PLAN		■
L-3	IMAGERY		■
L-4	DETAILS		■
ARCHITECTURAL			
A101	FOUNDATION PLAN		■
A102	GROUND FLOOR PLAN	■	■
A103	FIRST FLOOR PLAN	■	■
A104	SECOND FLOOR PLAN	■	■
A105	ROOF PLAN	■	■
A201	EXTERIOR ELEVATIONS	■	■
A202	EXTERIOR ELEVATIONS	■	■
A203	EXTERIOR ELEVATIONS	■	■
A204	EXTERIOR ELEVATIONS	■	■
A501	DETAILED SECTIONS		■
A502	DETAILED SECTIONS		■
A503	DETAILED SECTIONS		■
A504	DETAILED SECTIONS		■
A601	DOOR & WINDOW SCHEDULES		■
ARCHITECTURAL ELECTRICAL			
AE101	GROUND FLOOR ELECTRICAL PLAN		■
AE102	FIRST LIVING LEVEL ELECTRICAL PLAN		■
AE103	SECOND LIVING LEVEL ELECTRICAL PLAN		■



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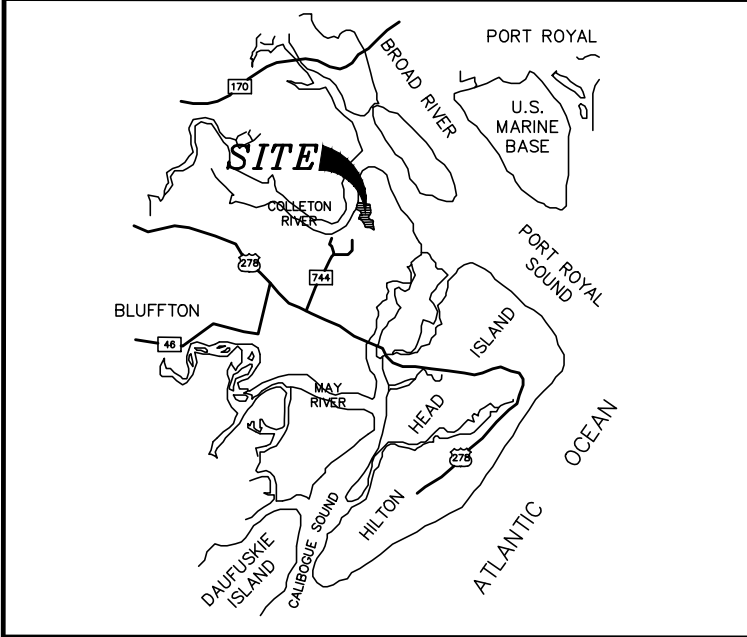


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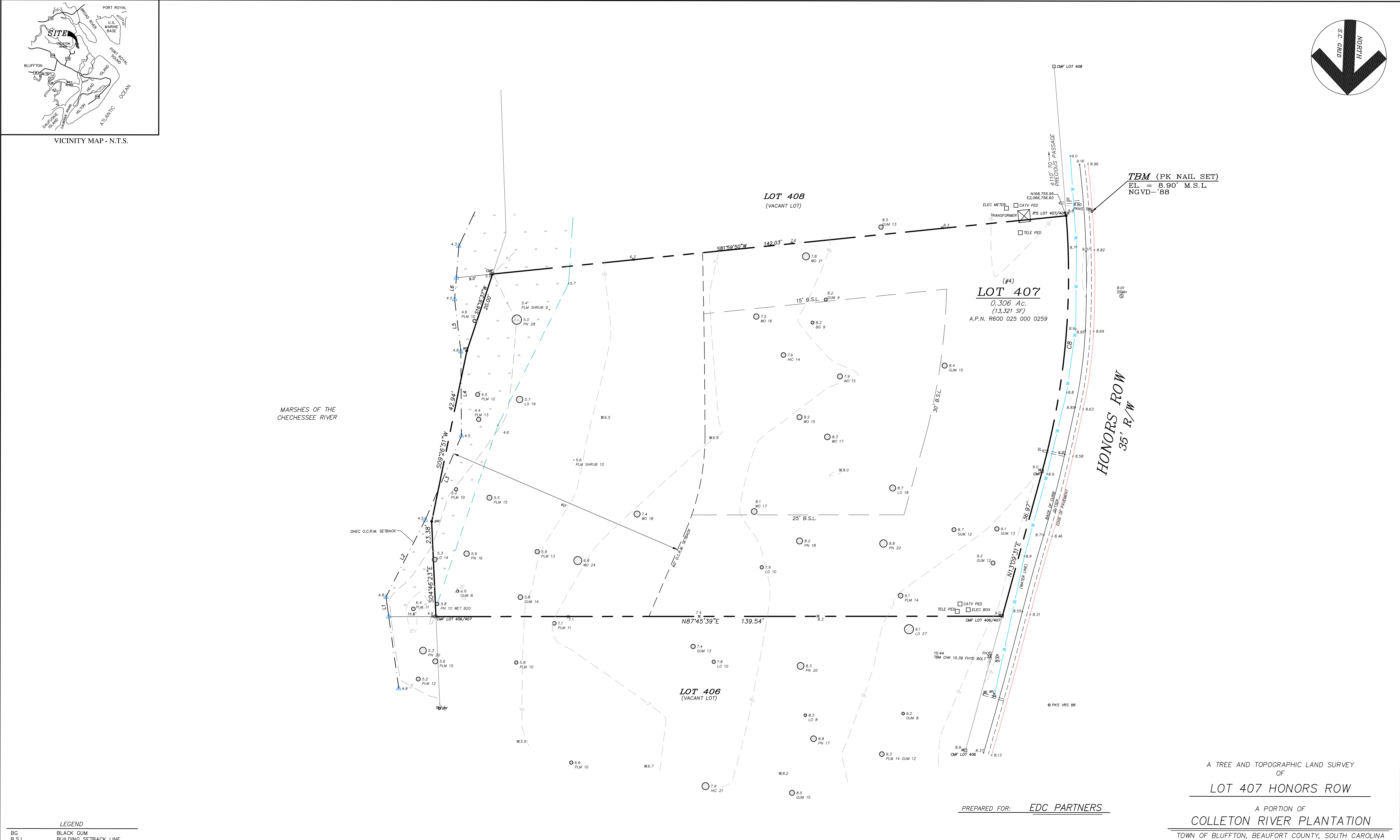
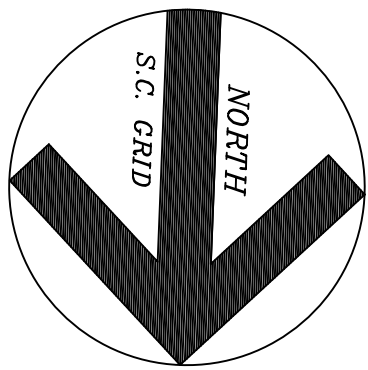
EDC LOT 407
LOT 407, #4 HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

REVISIONS	
PROJECT NO.	2503
CONTACT	LRD
DATE	12.02.2025
SHEET	

A001



VICINITY MAP - N.T.S.



LEGEND	
BC	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
CYP	CYPRESS
GUM	GUM
IPF	IRON PIN (OLD) FOUND
IPF BRKN	IPF FOUND BROKEN
IPF DISTR	IPF FOUND DISTURBED
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALMETTO
PN	PINE
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE PED	TELEPHONE PEDESTAL
WO	WATER OAK

LINE TABLE		
L#	LENGTH	DIRECTION
L1	4.90'	S10°08'26"E
L2	21.28'	S24°48'52"W
L3	22.59'	S21°02'28"W
L4	20.72'	S02°36'00"E
L5	13.03'	S08°58'36"E
L6	5.32'	S02°22'02"W

NOTES :

- THIS LOT LIES IN ZONE "AE", B.F.E.= 10.0' PER F.I.R.M. PANEL 45013002910, COMMUNITY NO. 450025, EFFECTIVE: 03/23/21.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
- CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

THE AREA SHOWN ON THIS PLAT HEREIN IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY SIGNING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

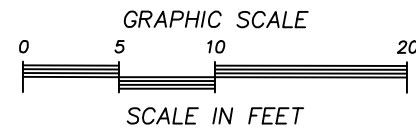
SIGNATURE

The critical line shown on this plot is valid for five years from the date of this signature, subject to the cautionary language above.

REFERENCE PLAT:

A SUBDIVISION PLAT OF LOTS 404-408 BEING A PORTION OF COLLETON RIVER PLANTATION SINGLE FAMILY HOMESITES AND COTTAGE SITES BY: THOMAS & HUTTON ENG. CO. DATED: 02/28/02 FILE: J-12618 RECORDED: P.B.86 PAGE 33

LABEL DESCRIPTIONS (TYP.)	
18.4	TREE LOCATION
PN 18	GROUND ELEVATION
	TREE SPECIES & DIAMETER (IN)



ONE FOOT CONTOUR INTERVAL

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN
S.C.R.L.S. NO. 11905

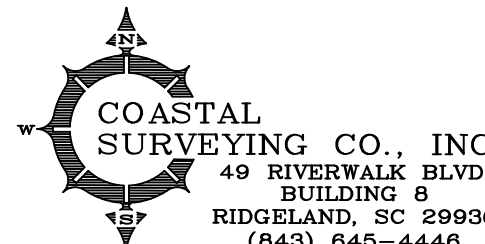
A TREE AND TOPOGRAPHIC LAND SURVEY
OF

LOT 407 HONORS ROW

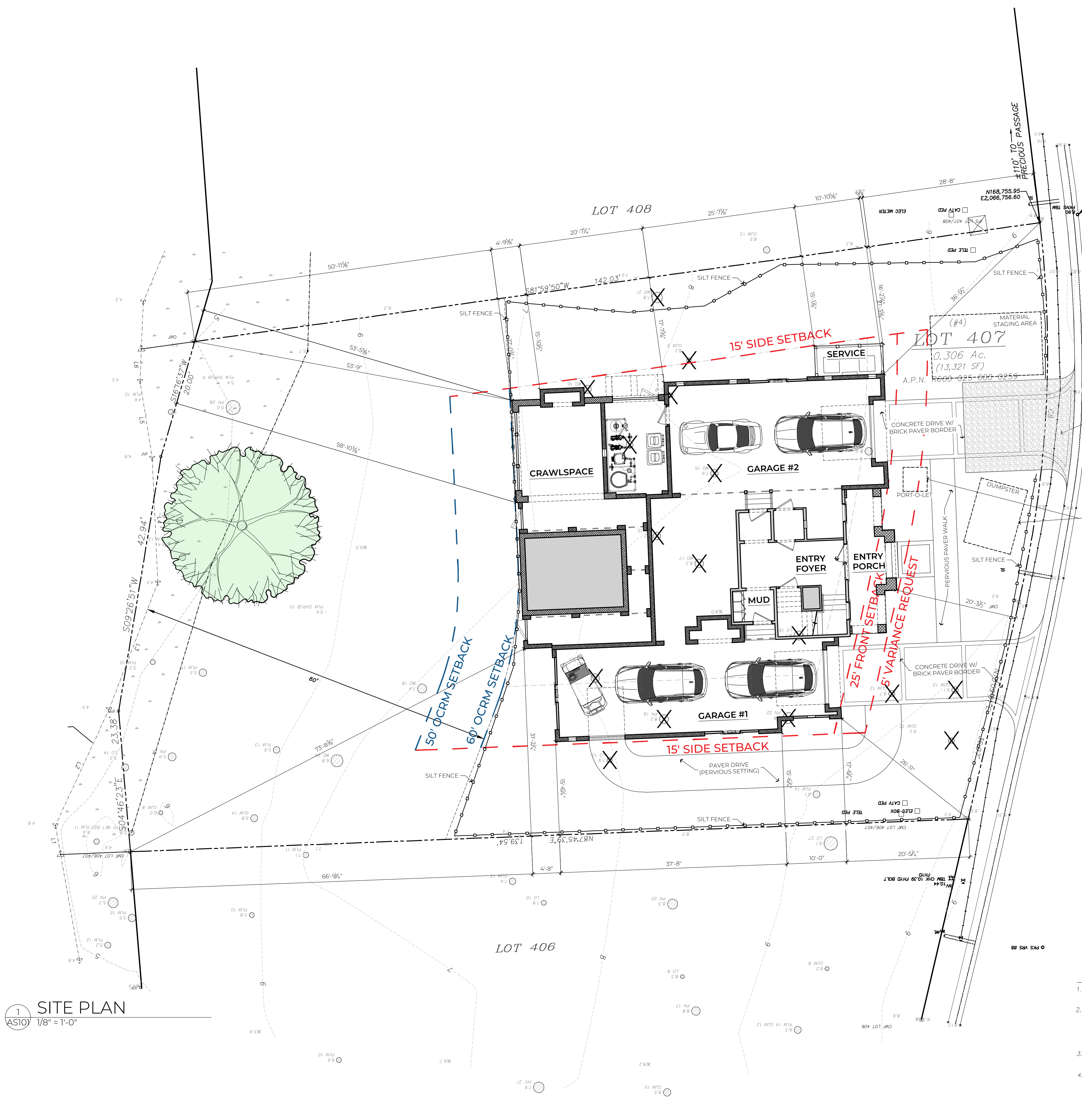
A PORTION OF
COLLETON RIVER PLANTATION
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 10'
DATE: 11/10/21
JOB No.: 71,348T

SURVEYED BY: LD
DRAWN BY: JTG
CHECKED BY: MRD



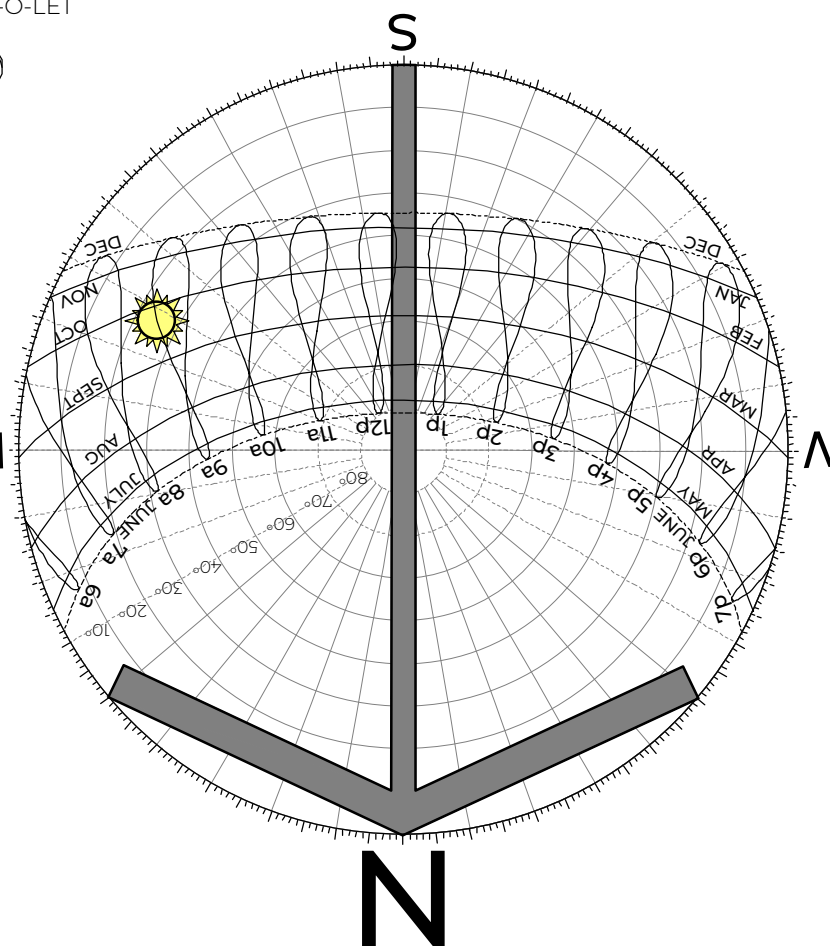
1 SITE PLAN
AS101 1/8" = 1'-0"



TBM (PK NAIL SET)
EL. = 8.90' M.S.L.
NGVD-'88

SITE CALCULATIONS:

TOTAL LOT SQUARE FOOTAGE:	13,321 SQ. FT.
IMPERVIOUS % ALLOWABLE:	30%
BUILDING FOOTPRINT:	3,410 SQ. FT.
IMPERVIOUS SURFACES:	537 SQ. FT.
TOTAL IMPERVIOUS:	3,947 SQ. FT.
TOTAL % COVERAGE:	29.6%



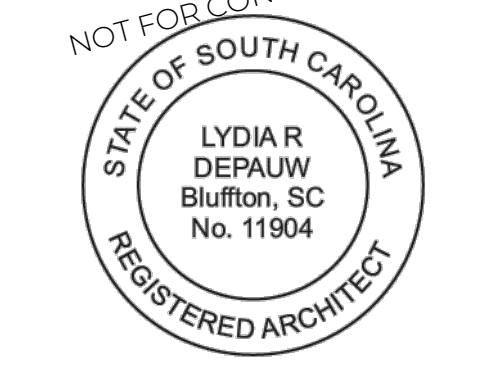
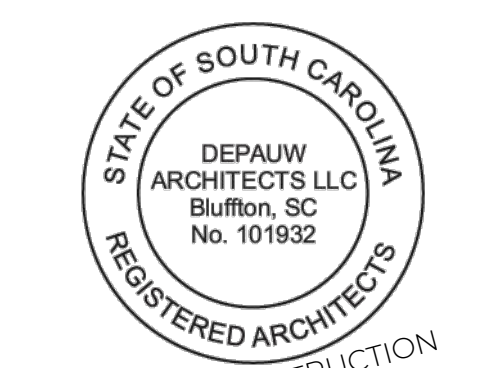
LEGEND	
BG	BLACK GUM
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IPF DISTRB	IPF FOUND DISTURBED
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PN	PINE
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE PED	TELEPHONE PEDESTAL
WO	WATER OAK

- NOTES :
- THIS LOT LIES IN ZONE "AE", B.F.E. = 10.0' PER F.I.R.M. PANEL 45013C0291G, COMMUNITY NO. 450025, EFFECTIVE: 03/23/21.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
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EDC LOT 407
LOT 407, #4 HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

REVISIONS	

PROJECT NO.	2503
CONTACT	LRD
DATE	12.02.2025
SHEET	

AS101

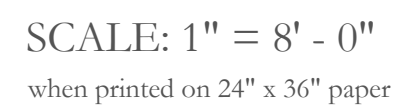
SITE PLAN



LOT 407, HONORS ROW
BLUFFTON, SC 29910

--	--

SHEET: L-2





BRODIE CEDAR



ANISE



DWARF PODOCARPUS



LOROPETALUM



PODOCARPUS



SWEET VIBURNUM



TEA OLIVE



WALTER'S VIBURNUM



FOXTAIL FERN



BOTTLEBRUSH



VARIEGATED FLAX LILY



SOD



PINESTRAW



SABAL PALM



WHITE MUHLY GRASS

PLANT SCHEDULE							
OVERSTORY TREES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Caliper	Gallon
6	Brodie Cedar	<i>Juniperus virginiana 'Brodie'</i>		8'	3-4'		
PALMS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
2	Sabal Palmetto*^	<i>Sabal palmetto</i>	refoliated	12-16'	3-4'		B&B
SHRUBS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
6	Anise*	<i>Illicium parviflorum</i>		24-36"	2-3'		7
3	Bottlebrush, Crimson	<i>Callistemon citrinus</i>		36"-48"	36"-48"		15
11	Podocarpus, Dwarf	<i>Podocarpus macrophyllus 'Pringles'</i>		18-24"	18-24"		7
13	Loropetalum	<i>Loropetalum chinense 'Ceris Charm'</i>		2-3'	2-3'		7
12	Podocarpus	<i>Podocarpus macrophyllum maki</i>		3-4'	2'		15
16	Sweet Viburnum	<i>Viburnum odoratissimum</i>		24-36"	2-3'		7
3	Tea Olive	<i>Osmanthus fragrans</i>		3-4'	3-4'		15
11	Viburnum, Walters*	<i>Viburnum obovatum 'Mrs. Schiller's Delight'</i>		2-3'	2'		7
SUBTROPICALS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
5	Fern, Foxtail^	<i>Asparagus aethiopicus</i>		1-2'	1-2'		3
VINES GROUNDCOVERS AND GRASSES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
5	White Muhly Grass*	<i>Muhlenbergia capillaris 'White Cloud'</i>		1-2'	1-2'		3
PERENNIALS & ANNUALS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
17	Variegated Flax Lily	<i>Dianella tasmanica 'Variegata'</i>		1-2'	1-2'		3
SOD & MULCH:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
2060	Sod estimate	Empire Zoysia					SF
2,795	Pine straw estimate						SF
NOTE: Deer damage is not covered by Earthworks plant warranty. Deer preference and browsing habits vary by season and location.							
* Native Plant							
^Sub Tropical Plant							



EARTHWORKS
Landscape Construction

291 Red Cedar Street
Suite 101
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843.645.3300

www.earthworks-sc.com

EDC PARTNERS LOT 407

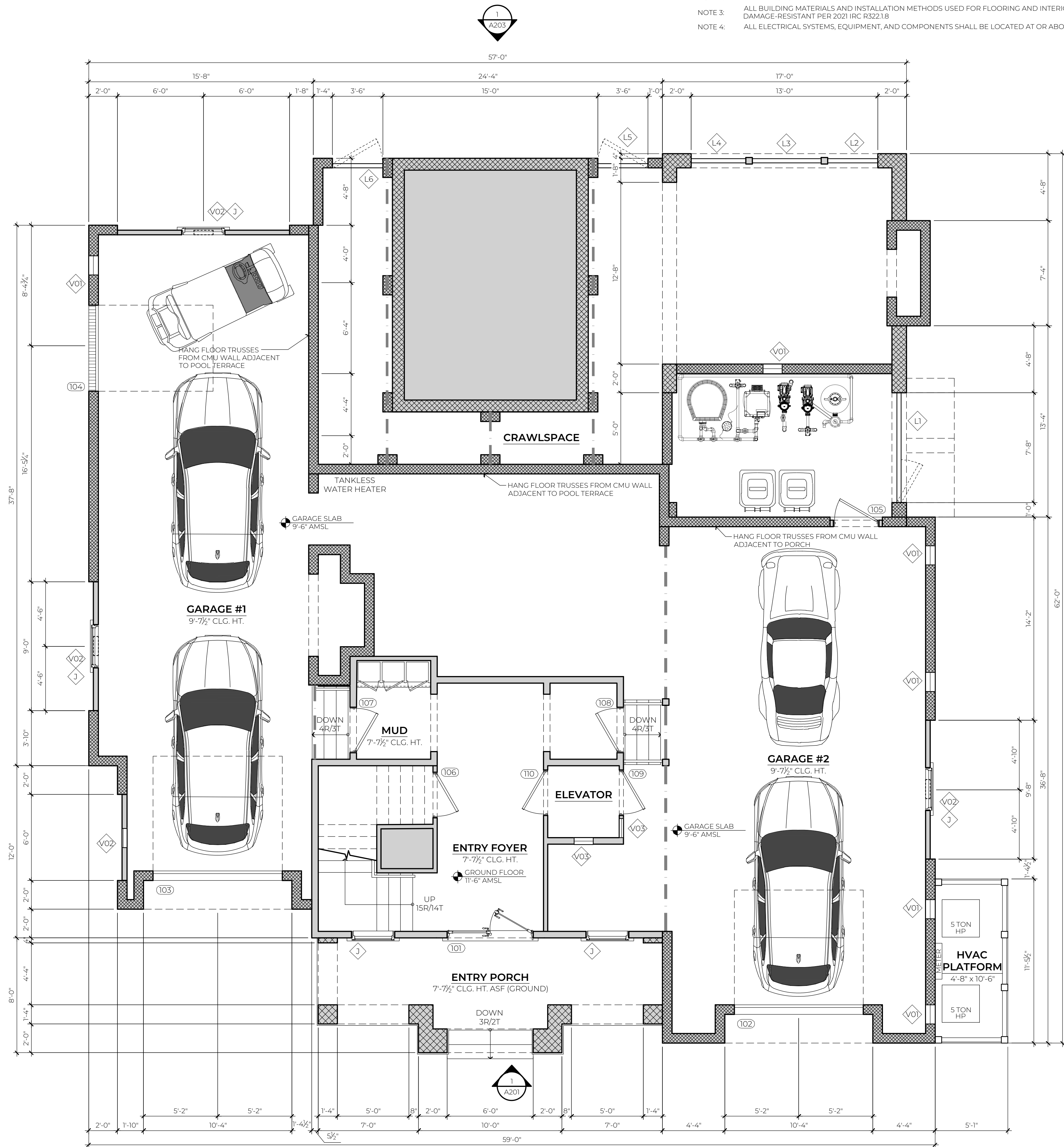
LOT 407, HONORS ROW
BLUFFTON, SC 29910

DRAWN BY:	TW 10/22/25
	LB + TW 10/29/25
	LB + TW 11/04/25
	AC 11/25/25
	AC 12/01/25

IMAGERY

SHEET: L-3

GROUND FLOOR PLAN
1/4" = 1'-0"



FLOOD VENT SCHEDULE

MARK	DESCRIPTION	MODEL NO.	PERIMETER FLOOD VENTS PROVIDED	INTERIOR FLOOD VENTS PROVIDED	COVERAGE AREA PROVIDED (EXTERIOR VENTS)	TRIM KIT MODEL NO.	TRIM KITS PROVIDED
V01	SMART VENT INSULATED	1540-520	5	1	1,000 SQ. FT.	--	0
V02	SMART VENT INSULATED WOOD WALL	1540-570	4	0	800 SQ. FT.	--	0
V03	SMART VENT WOOD WALL W FIRE DAMPER	1540-570 W/1540-537	0	2	0 SQ. FT.	--	0
PROJECT TOTAL		VARIES	5	4	1,800 SQ. FT.	---	0

NOTE 1: ALL FLOOD VENTS TO BE SMARTVENT, ICC-ES CERTIFIED 200 SQ. FT. COVERAGE U.O.N.
NOTE 2: ALL VENTS TO BE STAINLESS STEEL FINISH.
NOTE 3: ALL BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR & EXTERIOR WALL CONSTRUCTION BELOW 13'-0" AMSL ARE TO BE FLOOD DAMAGE-RESISTANT PER 2021 IRC R322.1.8
NOTE 4: ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE 13'-0" AMSL PER 2021 IRC R322.1.6

NON-ENGINEERED LOUVERED VENTING SCHEDULE

MARK	AREA SQ. IN. (FREE OF FRAME, BELOW D.F.E.)	CONVERSION FACTOR	AREA OF NET FREE OPENING
V1	2,170	0.396	859
V2	1,092	0.396	432
V3	1,325	0.396	524
V4	1,092	0.396	432
V5	927	0.396	367
V6	927	0.396	367
TOTAL NET FREE AREA:			2,981 SQ. IN

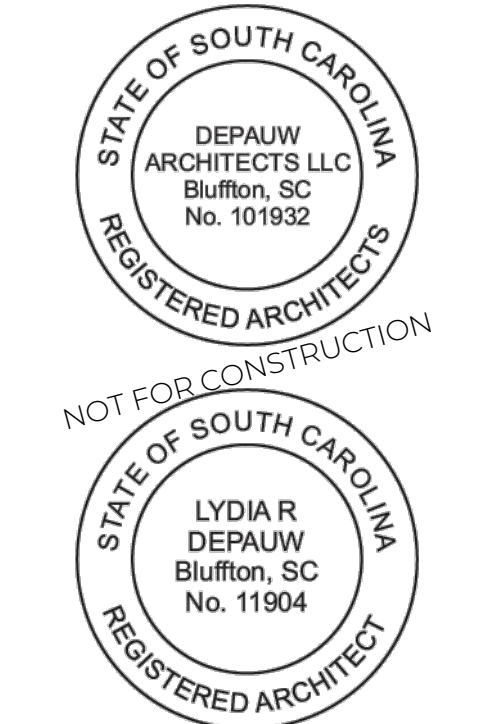
CRAWLSPACE HYDROSTATIC VENTING CALCULATIONS

GARAGES & ELEVATOR	
AREA OF BELOW FLOOD:	1,709 SQ. FT.
VENTING PROVIDED BY ENGINEERED OPENINGS:	1,800 SQ. FT.
(SEE FLOOD VENT SCHEDULE)	
REMAINING VENTING REQUIRED:	0 SQ. IN.
CRAWLSPACE BELOW PORCHES (INCLUDING POOL EQUIPMENT)	
AREA OF BELOW FLOOD:	629 SQ. FT.
VENTING PROVIDED BY ENGINEERED OPENINGS:	0 SQ. FT.
(SEE FLOOD VENT SCHEDULE)	
REMAINING AREA TO BE VENTED BY NON-ENGINEERED OPENINGS:	629 SQ. FT.
TOTAL NET AREA OF NON-ENGINEERED OPENINGS REQUIRED:	629 SQ. FT.
(R322.2.2.2.1 REQ'S 1 SQ. IN. PER 1 SQ. FT. OF ENCLOSED AREA)	
NON-ENGINEERED OPENINGS PROVIDED:	
LOUVERS:	2,981 SQ. IN.
TOTAL NON-ENGINEERED OPENING AREA PROVIDED:	2,981 SQ. IN.
REMAINING VENTING REQUIRED:	0 SQ. IN.



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REVISIONS

PROJECT NO. 2503
CONTACT LRD
DATE 12.02.2025
SHEET

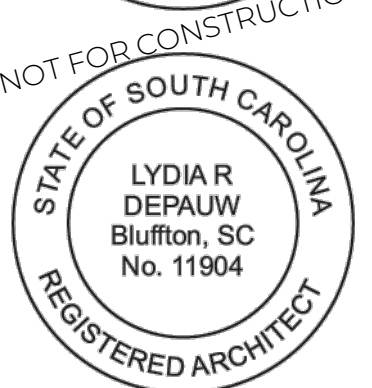
A102
GROUND FLOOR PLAN



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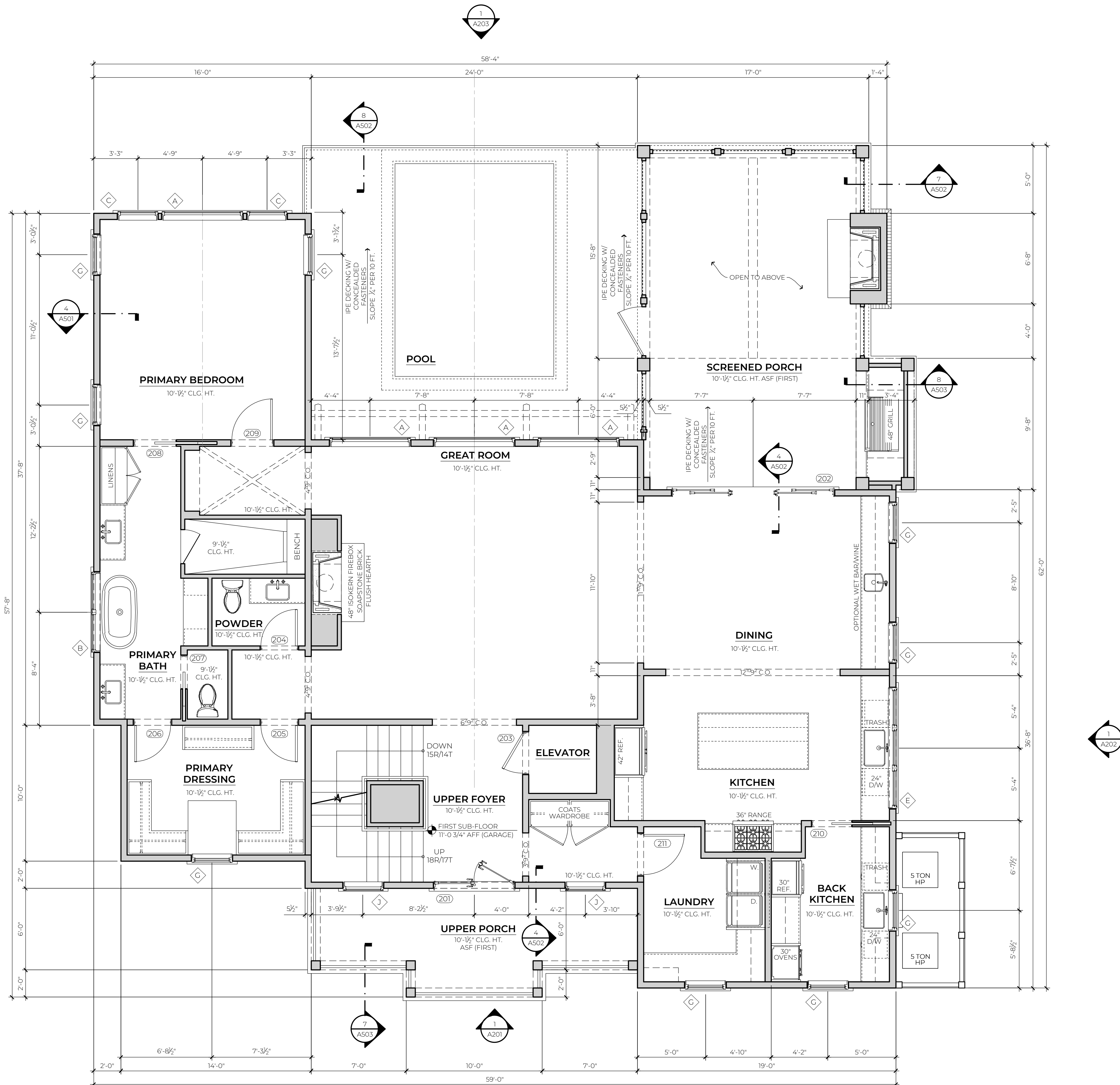
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CONTACT LRD
DATE 12.02.2025

SHEET

A103

FIRST FLOOR PLAN

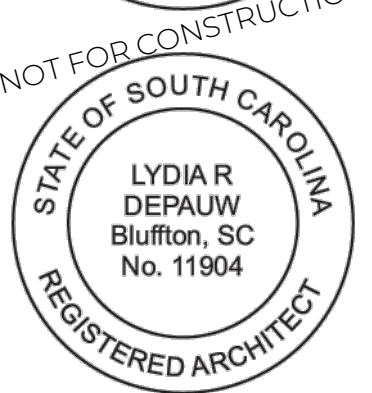


1
A103 FIRST FLOOR PLAN
1/4" = 1'-0"



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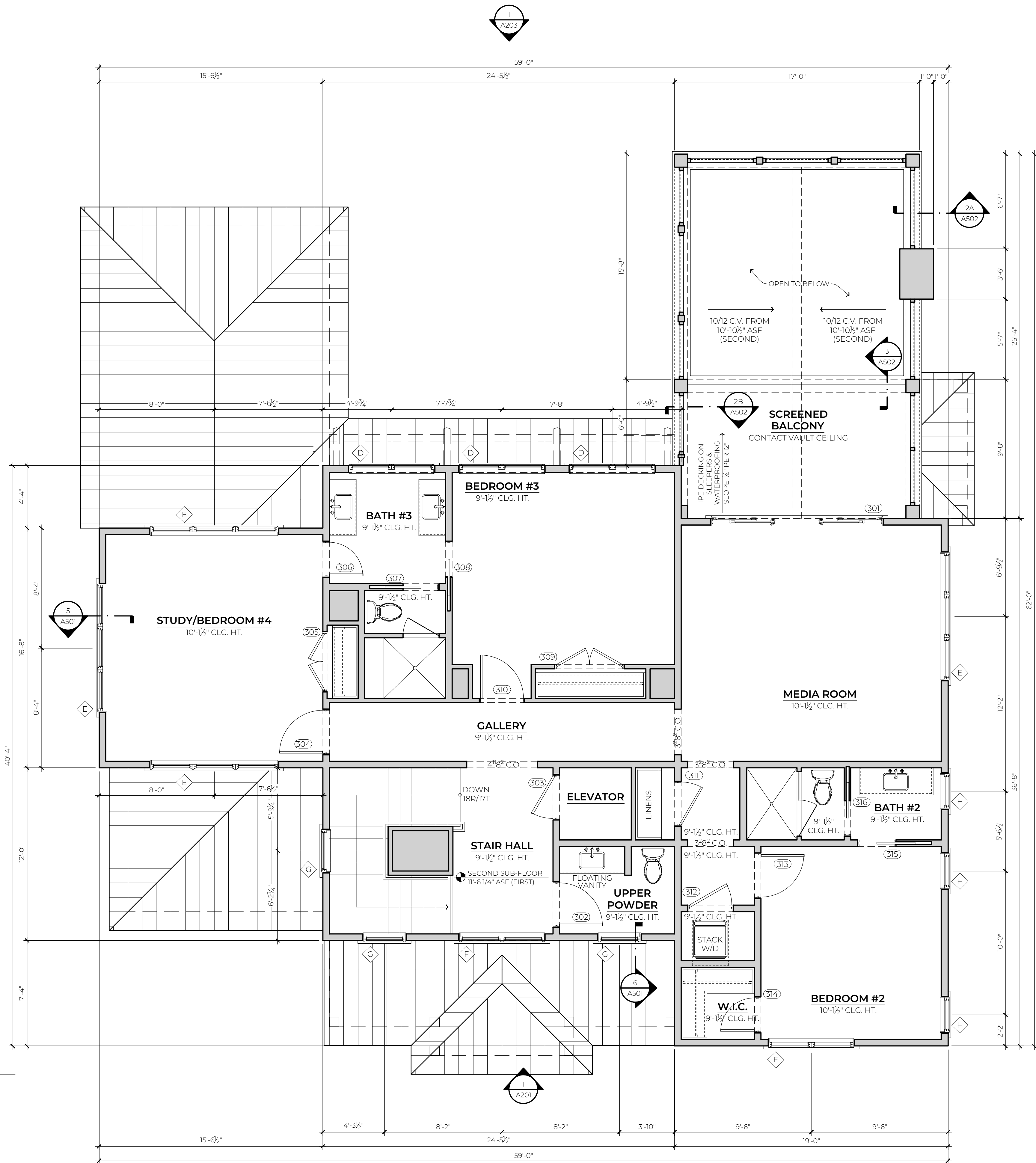
REVISIONS	

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SHEET

A104

SECOND FLOOR PLAN



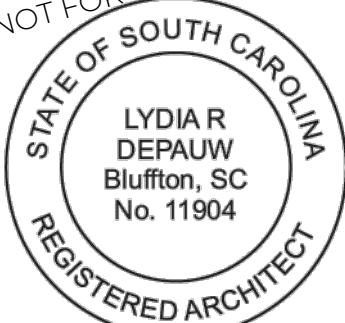
1
A104
1/4" = 1'-0"

SECOND FLOOR PLAN



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1 FRONT ELEVATION
1/4" = 1'-0"

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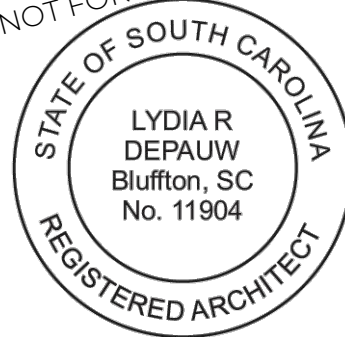
A201

EXTERIOR ELEVATIONS



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1 RIGHT ELEVATION
A202 1/4" = 1'-0"

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CONTACT	LRD
DATE	12.02.2025
SHEET	

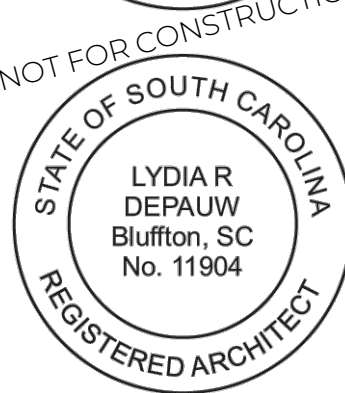
A202

EXTERIOR ELEVATIONS



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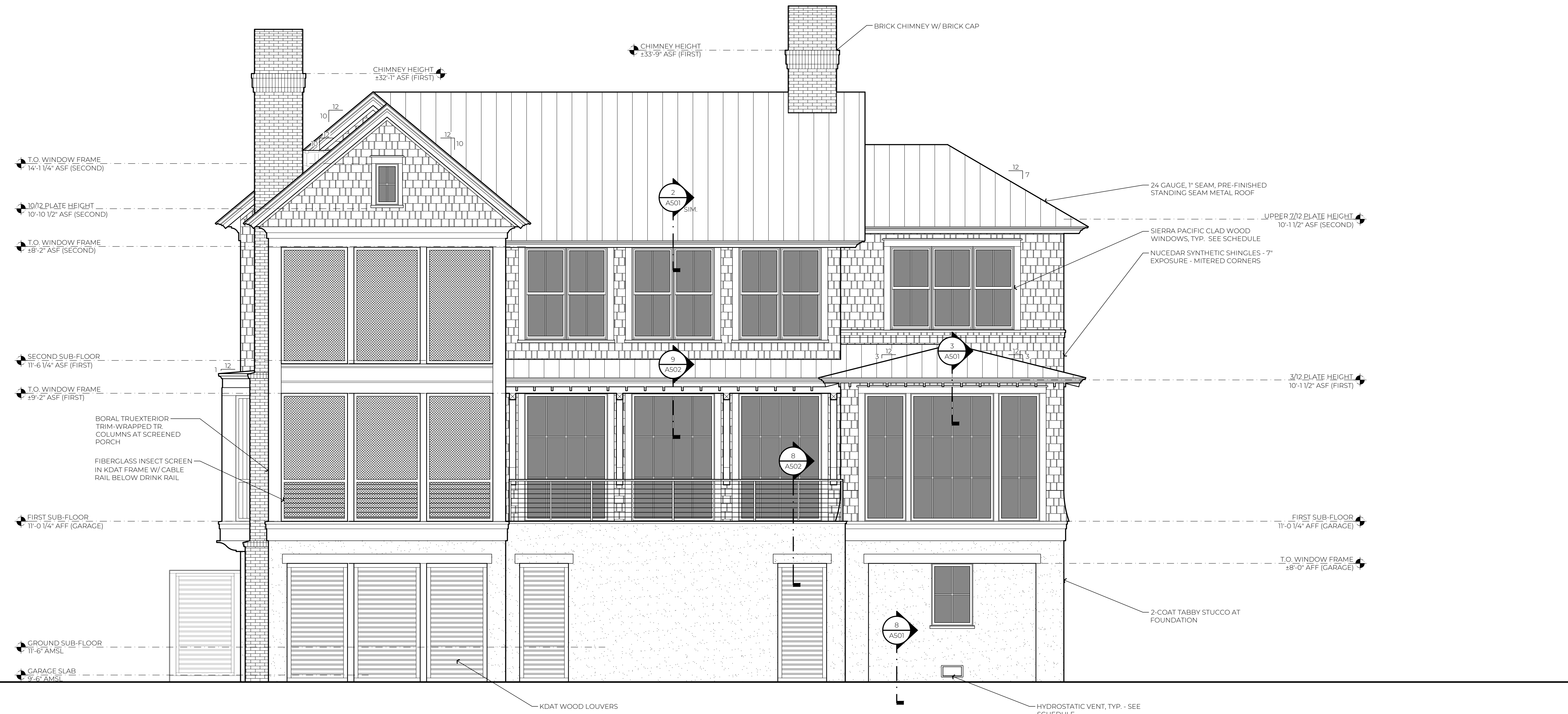
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1 REAR ELEVATION
A203 1/4" = 1'-0"

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DATE 12.02.2025

SHEET

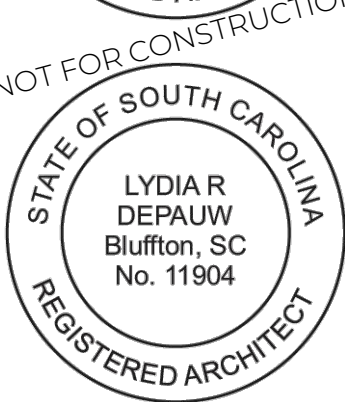
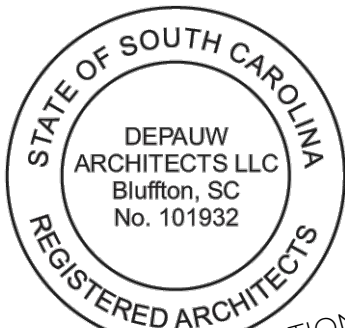
A203

EXTERIOR ELEVATIONS



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A204

EXTERIOR ELEVATIONS

