

ISSUED FOR PERMITTING

EDC PARTNERS

LOT 405, #8 HONORS ROW - COLLETON RIVER - BLUFFTON, SC 29910

ABBREVIATIONS:

AB	ANCHOR BOLT	LAM	LAMINATE
ABV	ABOVE	LL	LIVE LOAD
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ASF	ABOVE SUB-FLOOR	LIN	LINEN
A/C	AIR CONDITIONER	MA	MASONRY
AHU	AIR HANDLING UNIT	MAS	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
AMSL	ABOVE MEAN SEA LEVEL	MECH	MECHANICAL
APPROX	APPROXIMATE	MED	MEDIUM
BD	BOARD	MFR	MANUFACTURER
BF	BI-FOLD	MID	MIDDLE
BLKG	BLOCKING	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MUL	MULLION
BOD	BASIS OF DESIGN	N/A	NOT APPLICABLE
BRG	BEARING	N.I.C.	NOT IN CONTRACT
BTW	BETWEEN	NTS	NOT TO SCALE
CAB	CABINET	OC	ON CENTER
CANT	CANTILEVER	OD	OUTSIDE DIMENSION
CEN	CENTER	OH	OVERHANG
CIP	CAST-IN-PLACE	OPNG	OPENING
CJ	CEILING JOIST	OSB	ORIENTED STRAND BOARD
CL	CENTERLINE	PAF	POWER-ACTUATED FASTENER
CLOS	CLOSET	PDE	POP-UP DRAIN EMITTER
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CM	CASEMENT	PL	PLATE
CO	CASED OPENING	PNL	PANEL
COL	COLUMN	PNT	PAINT
CONC	CONCRETE	PMEJ	PRE-MOULDED
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RADIUS
DN	DOWN	R & S	ROD & SHELF
DR	DOOR	RAG	RETURN AIR GRILL
DW	DISHWASHER	REF	REFRIGERATOR
DWG	DRAWING	REQ'D	REQUIRED
EA	EACH	RM	ROOM
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SAF	SELF-ADHERED FLASHING
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SECT	SECTION
EXST	EXISTING	SF	SQUARE FEET
EXT	EXTERIOR	SH	SHELF
FD	FLOOR DRAIN	SIM	SIMILAR
FDN	FOUNDATION	SND	SANITARY NAPKIN DISPENSER
FDTN	FOUNDATION	SPEC	SPECIFICATION
FF	FINISH FLOOR	SF	SQUARE FEET
FFE	FINISH FLOOR	STD	STANDARD
	ELEVATION	STL	STEEL
FIN	FINISH	STOR	STORAGE
FIX	FIXTURE	SY	SYSTEM
FIXT	FIXTURE	T	TREAD
FLUOR	FLUORESCENT	T.O.	TOP OF
FLR	FLOOR	TR	TREATED
FRZ	FREEZER	T & G	TONGUE & GROOVE
FRMG	FRAMING	TEL	TELEPHONE
FT	FEET	TEMP	TEMPORARY/
FTG	FOOTING		TEMPERATURE
GA	GAUGE	THK	THICK
GALV	GALVANIZE	TV	TELEVISION
GL	GLASS	TPH	TOILET PAPER HOLDER
GYP	GYPSUM	TYP	TYPICAL
QWB	GYPSUM WALL BOARD	UC	UNDER-COUNTER
HB	HOSE BIBB	UNFIN	UNFINISHED
HDR	HEADER	U.N.O.	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL	U.O.N.	UNLESS OTHERWISE NOTED
HT	HEIGHT	VB	VAPOR BARRIER
I.D.	INSIDE DIMENSION	VER	VERIFY
IN	INCH	V.I.F.	VERIFY IN FIELD
INCL	INCLUDE	VERT	VERTICAL
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	W/D	WASHER-DRYER
JST	JOIST	WH	WATER HEATER
JNT	JOINT		
KS	KNEE SPACE		

VICINITY MAP | NTS



FLOOR AREA CALCULATIONS:

MAIN HOUSE:

GROUND FLOOR:		
HEATED & COOLED:	335 SF	
COVERED & ENCLOSED:	2,874 SF	
FIRST FLOOR:		
HEATED & COOLED:	2,168 SF	
COVERED & ENCLOSED:	1,018 SF	
SECOND FLOOR		
HEATED & COOLED:	1,778 SF	
COVERED & ENCLOSED:	275 SF	
TOTAL:		
HEATED & COOLED:	4,281 SF	
COVERED & ENCLOSED:	4,167 SF	

NOTES:

NOTICE TO PERMITTING AUTHORITY & BUILDING OWNER REGARDING CONSTRUCTION ADMINISTRATION SERVICES:
THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SC CODE OF REGULATIONS CHAPTER 11-12.B(5).

ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

GENERAL NOTES:
THE FOLLOWING DOCUMENTS ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS.

SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL, AND/OR PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.

SEPARATE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, PLANTING LAYOUTS, HARDSCAPE DETAILS AND OTHER RELATED SITE WORK REQUIREMENTS.

WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

THE FOLLOWING DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT AS DEFINED UNDER SECTION 102 OF THE COPYRIGHT ACT (TITLE 17 OF THE UNITED STATES CODE).

DIMENSION NOTES:
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, & FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N.

PLUMBING NOTES:
G.C. TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTORS PRIOR TO PLACING SLAB. G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FOUNDATION NOTES:
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS & REINFORCING, AND CONNECTION DETAILS.

SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

ALL TOP OF WALL NOTES ARE TO THE TOP OF CMU BLOCK U.O.N.

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN OR EQUAL) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

PROJECT TEAM:

DICIPLINE	NAME	LICENSE:	PHONE NO:
ARCHITECT	DePAUW ARCHITECTS	101932	(843) 284-7848
LANDSCAPE ARCHITECT	LEAH BELL, EARTHWORKS	1434	(843) 645-3300
STRUCTURAL ENGINEER	SOUTHERN CONSULT. & ENG.	CO3355	(843) 718-2525

BUILDING CODES:

APPLICABLE CODE:	2021 IRC W/ SC MODIFICATIONS
JURISDICTION:	BEAUFORT COUNTY
CONSTRUCTION TYPE:	V-B

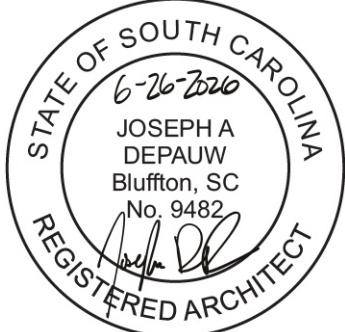
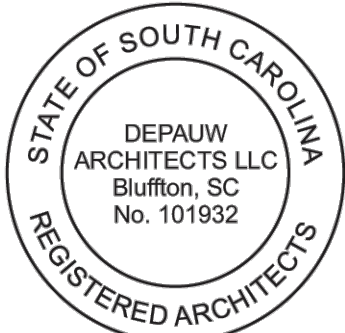
DRAWING INDEX:

SHEET #	SHEET DESCRIPTION	11/4/2026 PRELIMINARY ARB REVIEW	1/21/2026 CD COORDINATION SET	6/26/2026 ISSUED FOR PERMITTING
GENERAL				
A001	COVER	■	■	■
SURVEY				
SURVEY		■	■	■
ARCHITECTURAL SITE				
AS101	SITE PLAN	■	■	■
AS102	SITE MOBILIZATION DETAILS			■
AS103	STREETSCAPE ELEVATION	■	■	
LANDSCAPE				
L-1	DRAINAGE, HARDSCAPE & LIGHTING		■	■
L-2	PLANTING PLAN		■	
L-3	IMAGERY & PLANT SCHEDULE		■	■
L-4	DETAILS		■	■
STRUCTURAL				
S100	STRUCTURAL NOTES & DESIGN CRITERIA			■
S101	FOUNDATION PLAN			■
S102	MAIN LEVEL FLOOR FRAMING PLAN			■
S103	SECOND FLOOR/LOW CEILING PLAN			■
S104	HIGH CEILING/LOW ROOF FRAMING PLAN			■
S105	HIGH ROOF FRAMING PLAN			■
S201	STRUCTURAL DETAILS			■
S202	STRUCTURAL DETAILS			■
S301	STRUCTURAL DETAILS			■
S302	STRUCTURAL DETAILS			■
ARCHITECTURAL				
A101	FOUNDATION PLAN		■	■
A102	GROUND FLOOR PLAN		■	■
A103	FIRST FLOOR PLAN		■	■
A104	SECOND FLOOR PLAN		■	■
A105	ROOF PLAN		■	■
A201	EXTERIOR ELEVATIONS		■	■
A202	EXTERIOR ELEVATIONS		■	■
A203	EXTERIOR ELEVATIONS		■	■
A204	EXTERIOR ELEVATIONS		■	■
A301	BUILDING SECTIONS		■	■
A501	DETAILED SECTIONS		■	■
A502	DETAILED SECTIONS		■	■
A503	DETAILED SECTIONS		■	■
A504	DETAILED SECTIONS		■	■
A505	DETAILED SECTIONS		■	■
A601	DOOR & WINDOW SCHEDULES		■	■
ARCHITECTURAL ELECTRICAL				
AE101	GROUND FLOOR ELECTRICAL PLAN		■	■
AE102	FIRST FLOOR ELECTRICAL PLAN		■	■
AE103	SECOND FLOOR ELECTRICAL PLAN		■	■



DePAUW
ARCHITECTS

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EDC PARTNERS
LOT 405, #8 HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

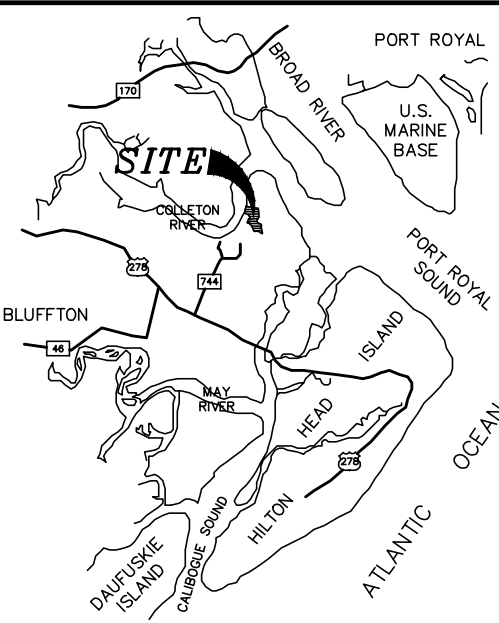
REVISIONS	

PROJECT NO.	2306
CONTACT	JAD
DATE	6/26/2026

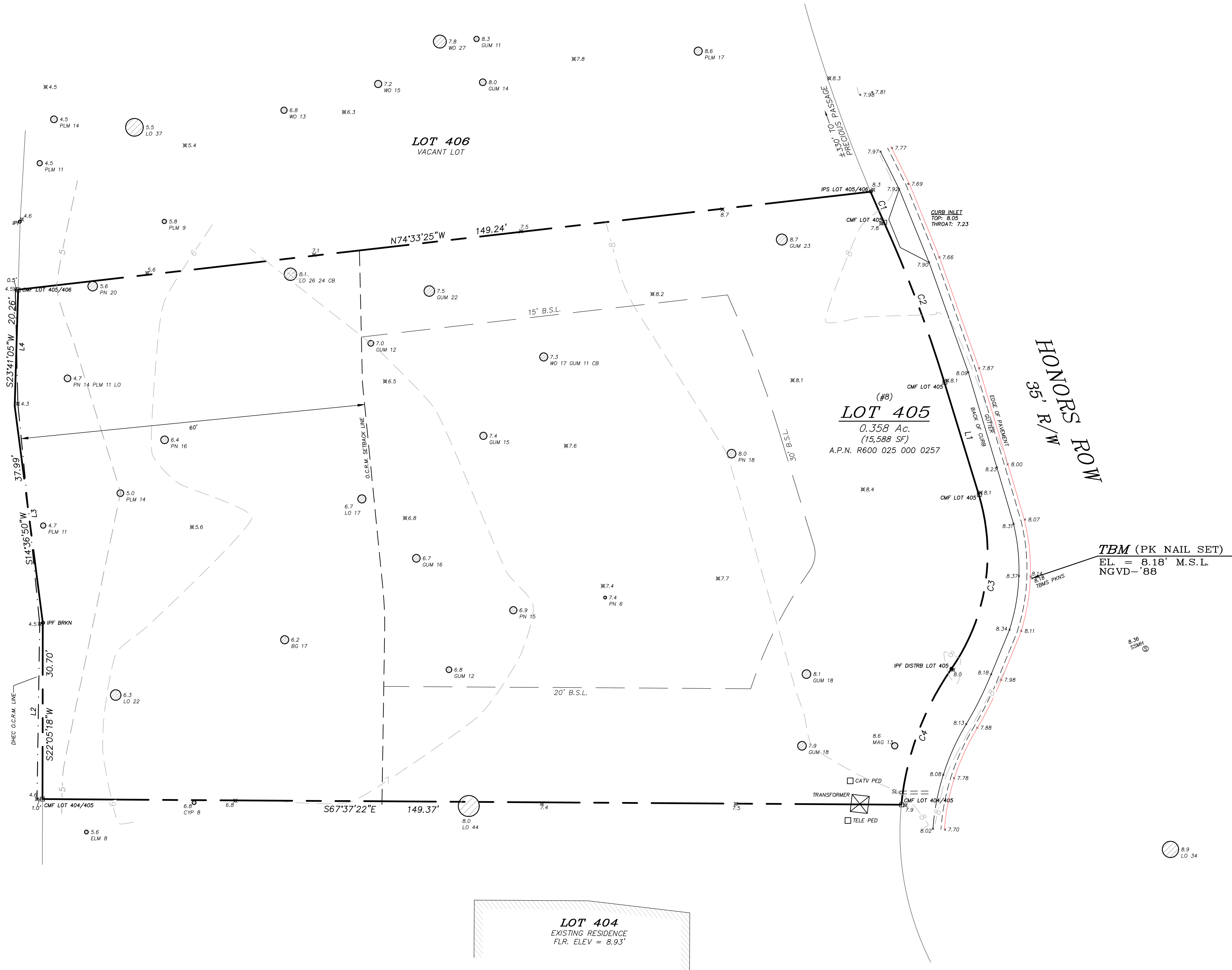
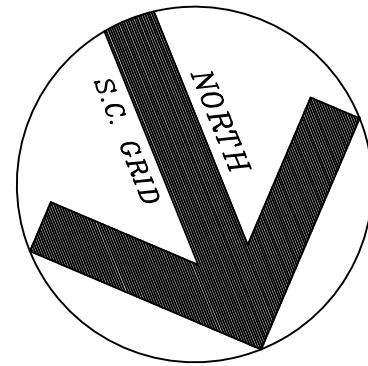
SHEET

A001

COVER SHEET



VICINITY MAP - N.T.S.



TBM (PK NAIL SET)
EL. = 8.18' M.S.L.
NGVD-'88

THE AREA SHOWN ON THIS PLAT HEREON IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE DATE
The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

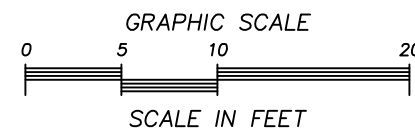
- NOTES:
- THIS LOT LIES IN ZONE "AE", B.F.E.=10' PER F.I.R.M. PANEL 45013C 0291 G. COMMUNITY No. 450025, EFFECTIVE 03/23/21.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

CURVE TABLE					
C#	ARC	RADIUS	DELTA	DIRECTION	CHORD
C1	5.87'	267.50'	01°15'26"	N01°41'38"W	5.87'
C2	29.69'	232.50'	07°19'00"	N01°20'08"E	29.67'
C3	31.68'	35.00'	51°51'42"	N30°55'19"E	30.61'
C4	25.53'	50.00'	29°15'04"	N42°13'36"E	25.25'

LINE TABLE		
L#	LENGTH	DIRECTION
L2	30.50'	S22°53'18"W
L3	38.48'	S16°19'27"W
L4	19.85'	S20°41'37"W

REFERENCE PLAT:
A SUBDIVISION PLAT OF LOTS 404-408 BEING A PORTION OF COLLETON RIVER PLANTATION SINGLE FAMILY HOMESITES AND COITAGE SITES By: THOMAS & HUTTON ENGINEERING CO. DATED: 2/28/02 FILE: J-12618 RECORDED: P.B. 86 PG. 33

LABEL DESCRIPTIONS (TYP.)	
---	TREE LOCATION
⊙ 18.4	GROUND ELEVATION
PN 18	TREE SPECIES & DIAMETER (IN.)



ONE FOOT CONTOUR INTERVAL

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN
S.C.R.L.S. NO. 11905

A TREE AND TOPOGRAPHIC LAND SURVEY
OF

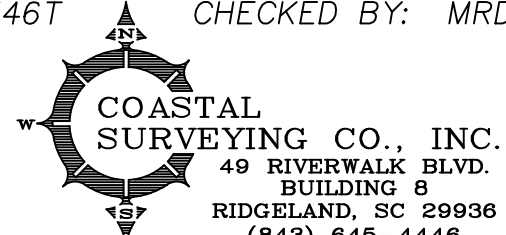
LOT 405 HONORS ROW

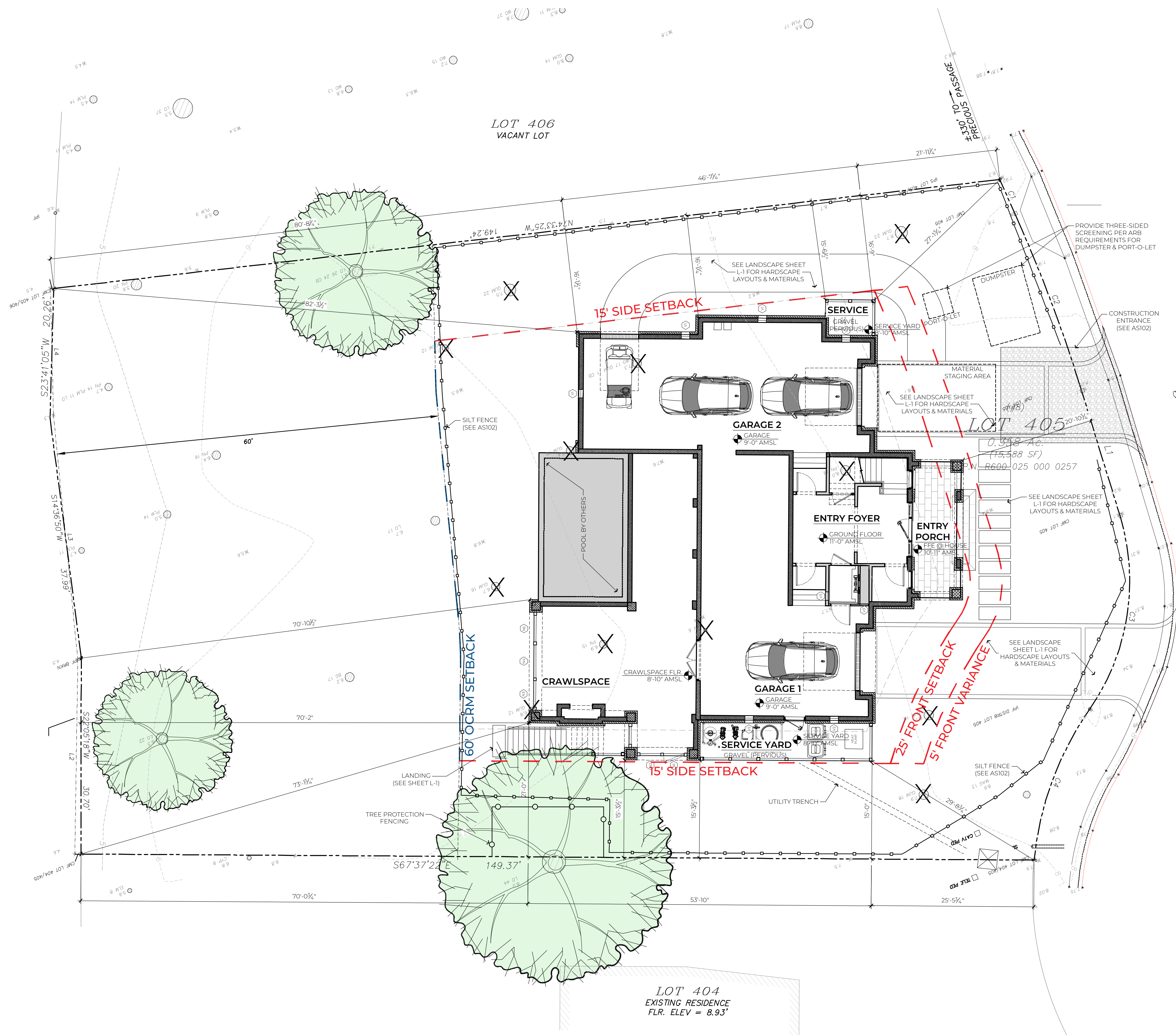
A PORTION OF
COLLETON RIVER PLANTATION

BLUFFTON TOWNSHIP, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 10'
DATE: 11/10/21
JOB No.: 71,346T

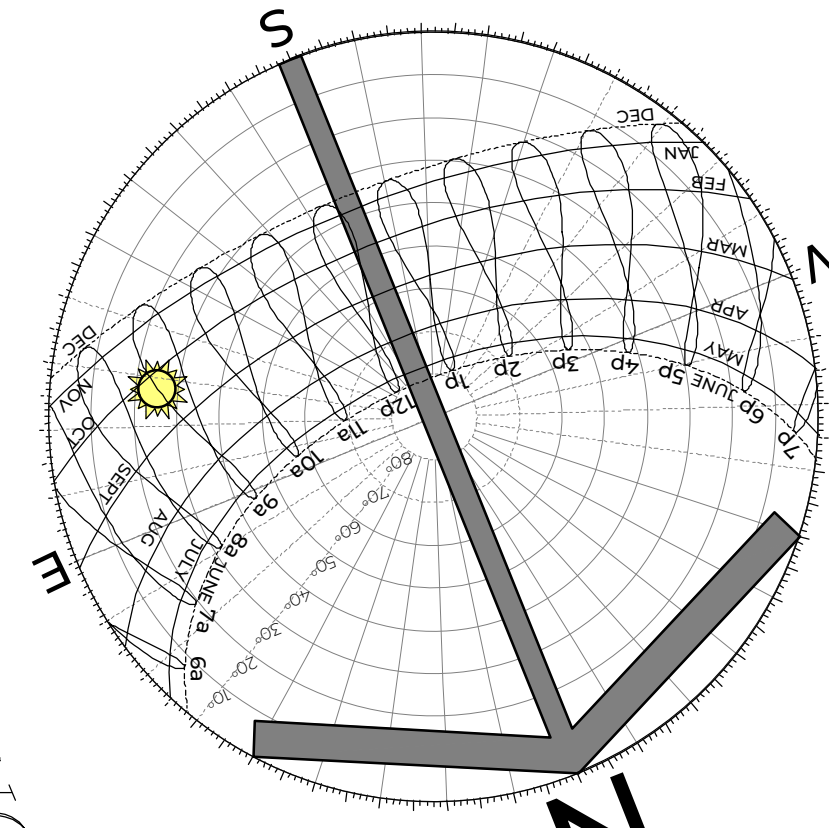
SURVEYED BY: LD
DRAWN BY: JTG
CHECKED BY: MRD





SITE CALCULATIONS:

TOTAL LOT SQUARE FOOTAGE:	15,588 SF
IMPERVIOUS % ALLOWABLE:	30%
BUILDING FOOTPRINT:	3,361 SF
IMPERVIOUS SURFACES:	1,224 SF
TOTAL IMPERVIOUS:	4,585 SF
TOTAL % COVERAGE:	29.4%



HONORS ROW
35' R/W

TBM (PK NAIL SET)
EL. = 8.18' M.S.L.
NGVD-'88

SITE NOTES:

SEE GEOTECHNICAL EVALUATION PREPARED BY WHITAKER LAB & ENGINEERING DATED JUNE 25, 2025 FOR SITE PREPARATION AND FOUNDATION CONSTRUCTION REQUIREMENTS

G.C. TO VERIFY THE LOCATION OF GAS, CABLE, POWER, AND TELEVISION UTILITIES ON SITE AND COORDINATE THE SIZE OF GAS LINES WITH THE PLUMBING SUB-CONTRACTOR.

G.C. TO VERIFY THE LOCATION OF THE WATER MAIN AND SEWER LINE ON SITE AND COORDINATE THE SIZE OF THE LINES WITH THE PLUMBING SUB-CONTRACTOR.

G.C. TO REVIEW ANY CHANGES TO TOP OF SLAB AND WALL PLATE HEIGHTS THAT MAY BE REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS WITH THE ARCHITECT.

ALL TREES TO BE PROTECTED WHERE SHOWN IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DETAILS.

SEE LANDSCAPE ARCHITECTURE PLANS FOR FINAL SITE MOBILIZATION, TREE PROTECTION, GRADING, TREE REMOVAL, DRIVE, WALK, & TERRACE LAYOUTS, AND HARDSCAPE DETAILS.

G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH THE FOUNDATION, FLOOR PLANS, AND STAKING PLAN.

LEGEND

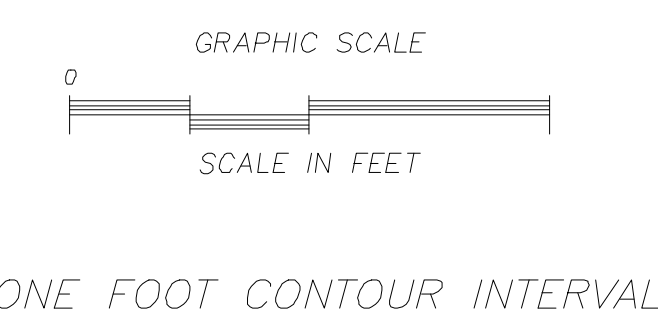
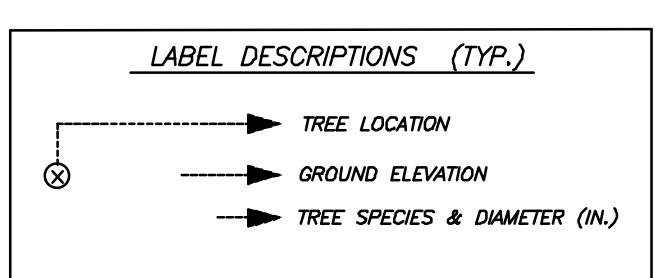
BG	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
CYP	CYPRESS
GUM	GUM
IPF	IRON PIN (OLD) FOUND
IPF BRKN	IPF FOUND BROKEN
IPF DISTRB	IPF FOUND DISTURBED
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALMETTO
PN	PINE
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE PED	TELEPHONE PEDESTAL
WO	WATER OAK

- NOTES :
- THIS LOT LIES IN ZONE "AC", B.F.E.=10" PER F.I.R.M. PANEL 45001SC 0291 G. COMMUNITY No. 450025, EFFECTIVE: 03/23/21.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
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CURVE TABLE

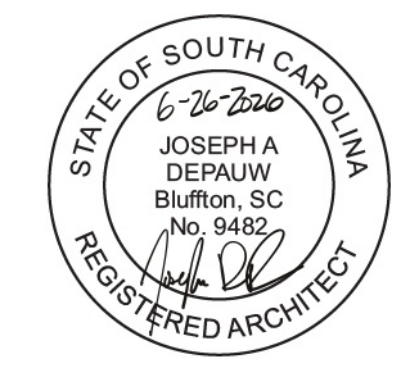
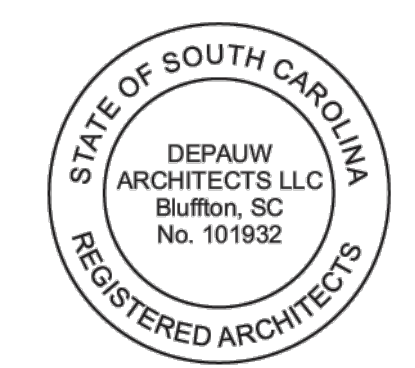
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1 SITE PLAN
AS101 1/8" = 1'-0"

DePAUW ARCHITECTS
POST OFFICE BOX 688
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EDC PARTNERS
LOT 405, #8 HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2306
CONTACT JAD
DATE 6/26/2026
SHEET

AS101
SITE PLAN



EARTHWORKS
Landscape Construction

291 Red Cedar Street
Suite 101
Bluffton, SC 29910
843.645.3300

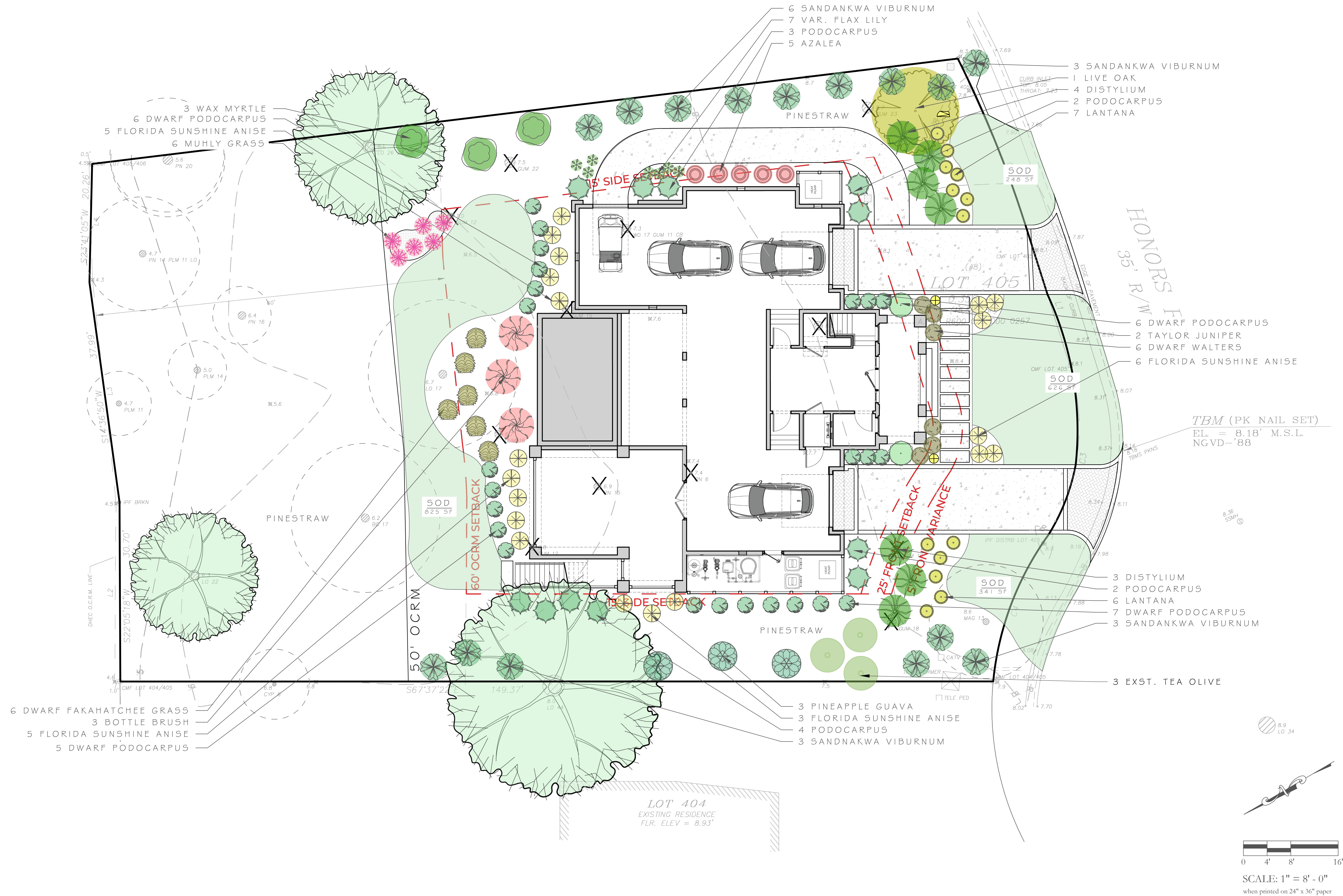
www.earthworks-sc.com

EDC PARTNERS
LOT 405, HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

DRAWN BY:	AC 10/21/25
	LB & AC 10/27/25
	LB & AC 11/03/25

PLANTING
PLAN

SHEET: L-2





DWARF PODOCARPUS



ANISE FLORIDA SUNSHINE



PODOCARPUS



AZALEA



PINEAPPLE GUAVA



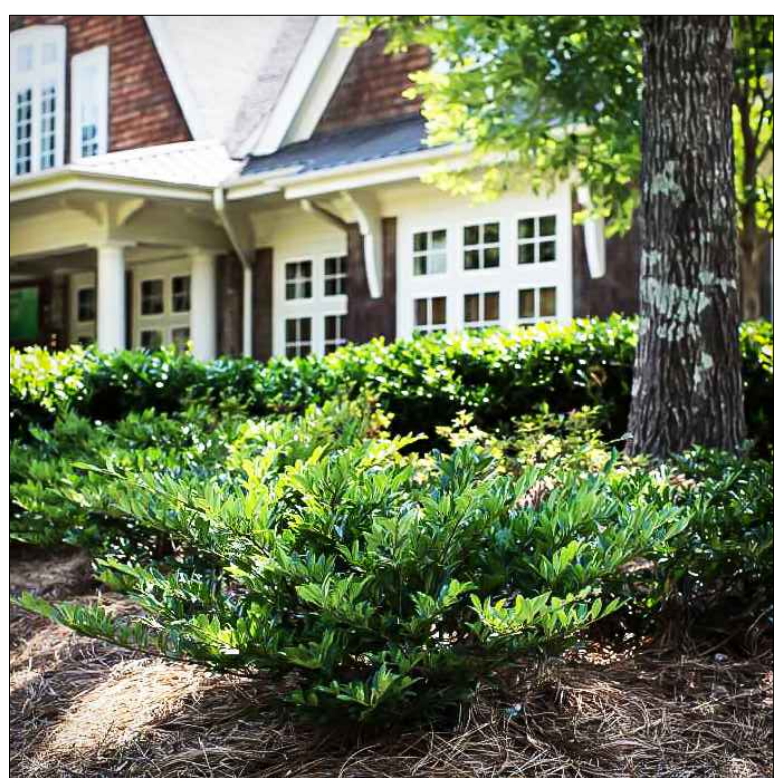
SANDANKWA VIBURNUM



DWARF WALTERS



WAX MYRTLE



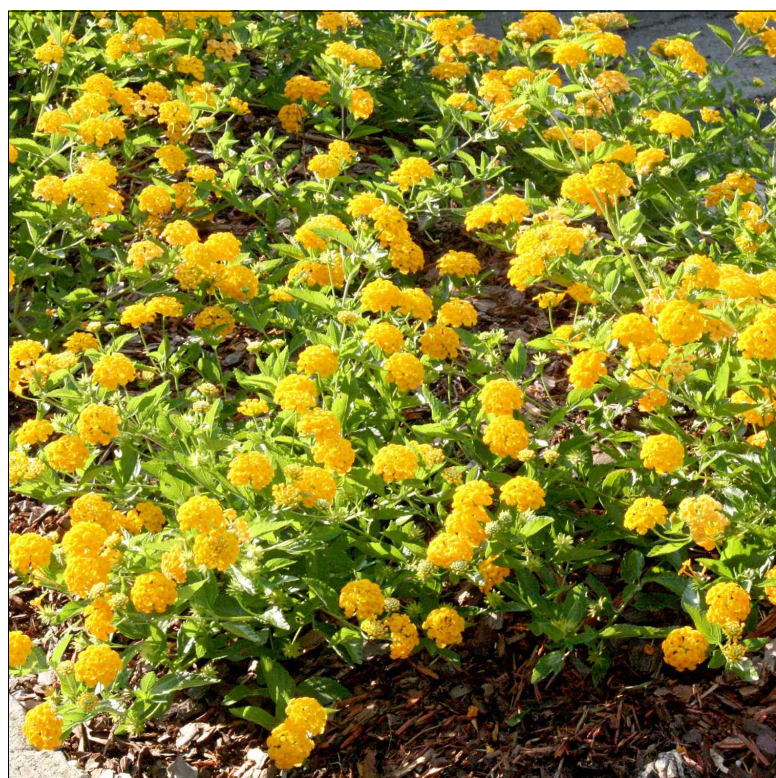
DISTYLIUM



DWARF FAKAHATCHEE



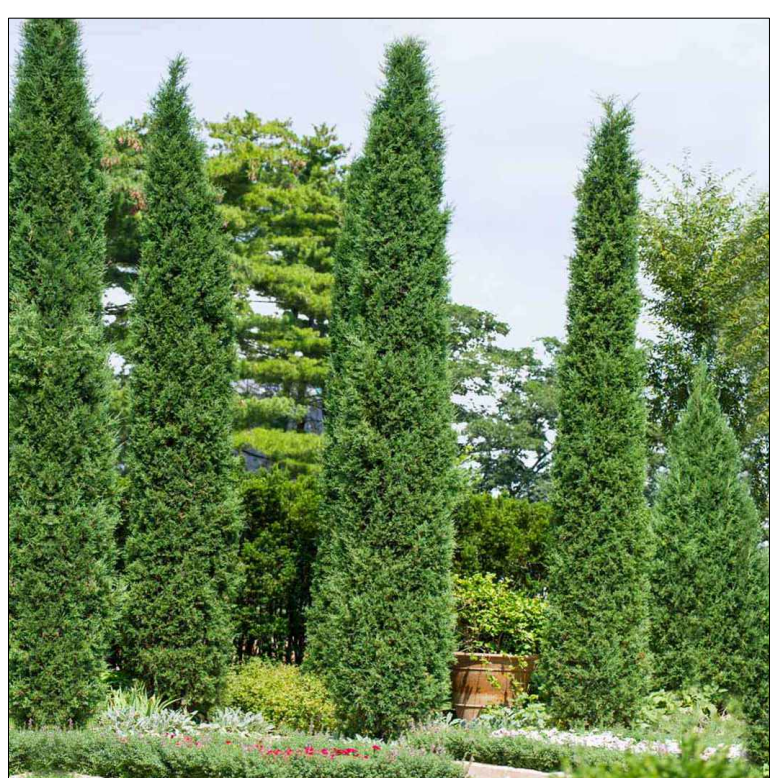
PINK MUHLY



LANTANA



VAR. FLAX LILY



TAYLOR JUNIPER



LIVE OAK



SOD



PINESTRAW

PLANT SCHEDULE							
OVERSTORY TREES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Caliper	Gallon
1	Live Oak*	<i>Quercus virginiana</i>		10-12'	3-4'	4"	100
UNDERSTORY TREES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
2	Taylor Juniper	<i>Juniperus virginiana 'Taylor'</i>		8-10'	3-4'		30
SHRUBS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
19	Anise, Florida Sunshine*	<i>Illicium parviflorum 'Florida Sunshine'</i>		24-36"	2-3'		7
5	Azalea, Encore*	<i>Rhododendron sp.</i>		24-36"	2-3'		7
3	Bottlebrush, Crimson	<i>Callistemon citrinus</i>		36"-48"	36"-48"		15
24	Podocarpus, Dwarf	<i>Podocarpus macrophyllus 'Pringles'</i>		18-24"	18-24"		7
3	Pineapple Guava	<i>Feijoa sellowiana</i>		2-3'	2-3'		7
11	Podocarpus	<i>Podocarpus macrophyllum maki</i>		3-4'	2'		15
15	Viburnum, Sandankwa	<i>Viburnum suspensum</i>		24-36"	2-3'		7
6	Viburnum, Walters*	<i>Viburnum obovatum 'Mrs. Schiller's Delight'</i>		2-3'	2'		7
3	Wax Myrtle*	<i>Myrica cerifera</i>		2-3'	2-3'		7
7	Distylium, Vintage Jade	<i>Distylium 'Vintage Jade'</i>		2-3'	2-3'		7
VINES GROUNDCOVERS AND GRASSES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
6	Dwarf Fakahatchee Grass*	<i>Tripsacum floridanum</i>		1-2'	1-2'		1
6	Pink Muhly Grass*	<i>Muhlenbergia capillaris</i>		1-2'	1-2'		3
PERENNIALS & ANNUALS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
13	Lantana, yellow	<i>Lantana camara 'Gold Mound'</i>		1-2'	1-2'		1
7	Variegated Flax Lily	<i>Dianella tasmanica 'Variegata'</i>		1-2'	1-2'		3
SOD & MULCH:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
2040	Sod estimate	Empire Zoysia					SF
8,727	Pine straw estimate						SF
NOTE: Deer damage is not covered by Earthworks plant warranty. Deer preference and browsing habits vary by season and location.							
* Native Plant							
^ Sub Tropical Plant							

EARTHWORKS
Landscape Construction

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Suite 101
Bluffton, SC 29910
843.645.3300

www.earthworks-sc.com

EDC PARTNERS

LOT 405, HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

DRAWN BY: AC 10/21/25

LB & AC 10/27/25

LB & AC 11/03/25

IMAGERY &
PLANT
SCHEDULE

SHEET: L-3



ROOM NAME	AREA BELOW D.F.E.	COVERAGE AREA PROVIDED	PERIMETER FLOOD VENTS PROVIDED	INTERIOR FLOOD VENTS PROVIDED
GARAGE #1, GARAGE #2 & ELEVATOR	1,641 SQ. FT.	1,800 SQ. FT.	9	2

MARK	DESCRIPTION	MODEL NO.	COVERAGE AREA PER VENT	TRIM KIT MODEL NO.
V1	SMART VENT INSULATED	1540-520	200 SQ. FT.	--
V2	SMART VENT INSULATED STACKER	1540-521	400 SQ. FT.	--
V3	SMART VENT WOOD WALL W FIRE DAMPER	1540-570 W/ 1540-537	200 SQ. FT.	--

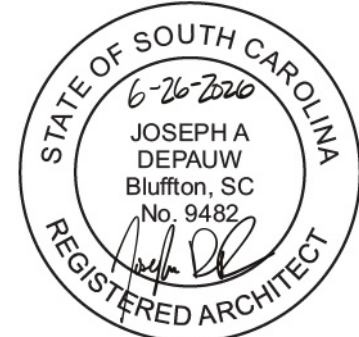
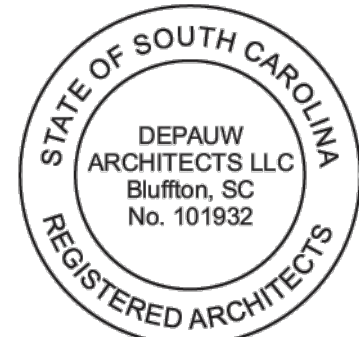
NOTE 1: ALL FLOOR VENTS TO BE SMARTVENT, ICC-ES CERTIFIED 200 SQ. FT. COVERAGE U.O.N.

NOTE 2: ALL VENTS TO BE STAINLESS STEEL FINISH.



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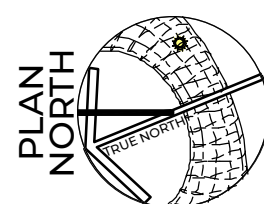
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DATE	6/26/2026

SHEET



A102

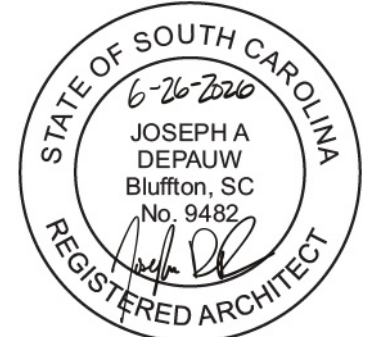
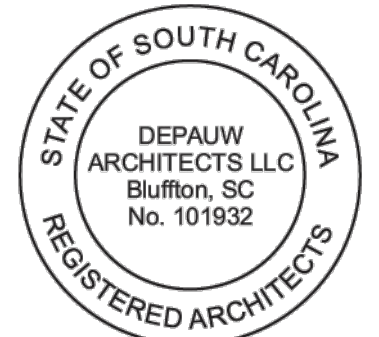
GROUND FLOOR PLAN



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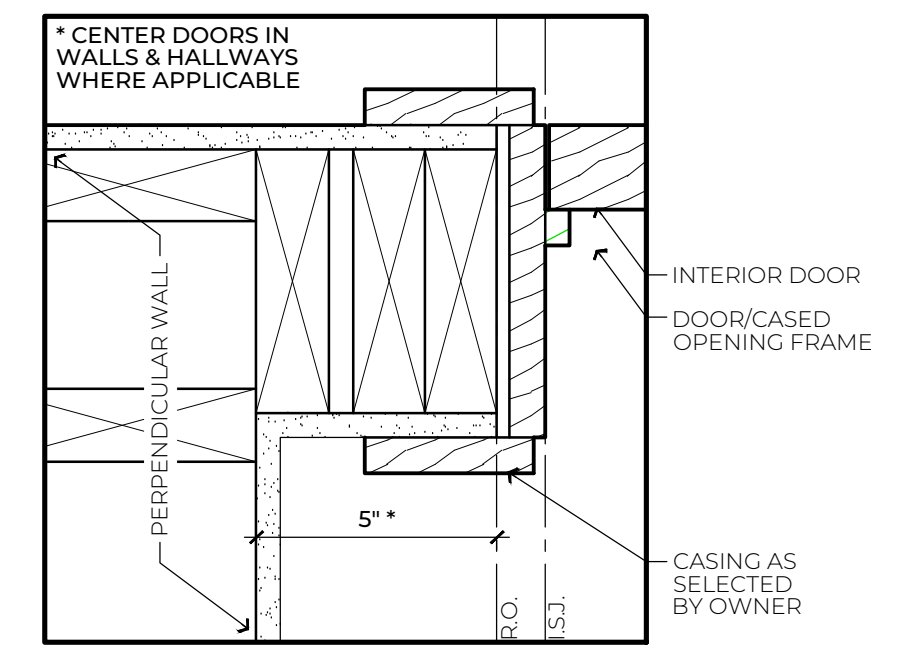
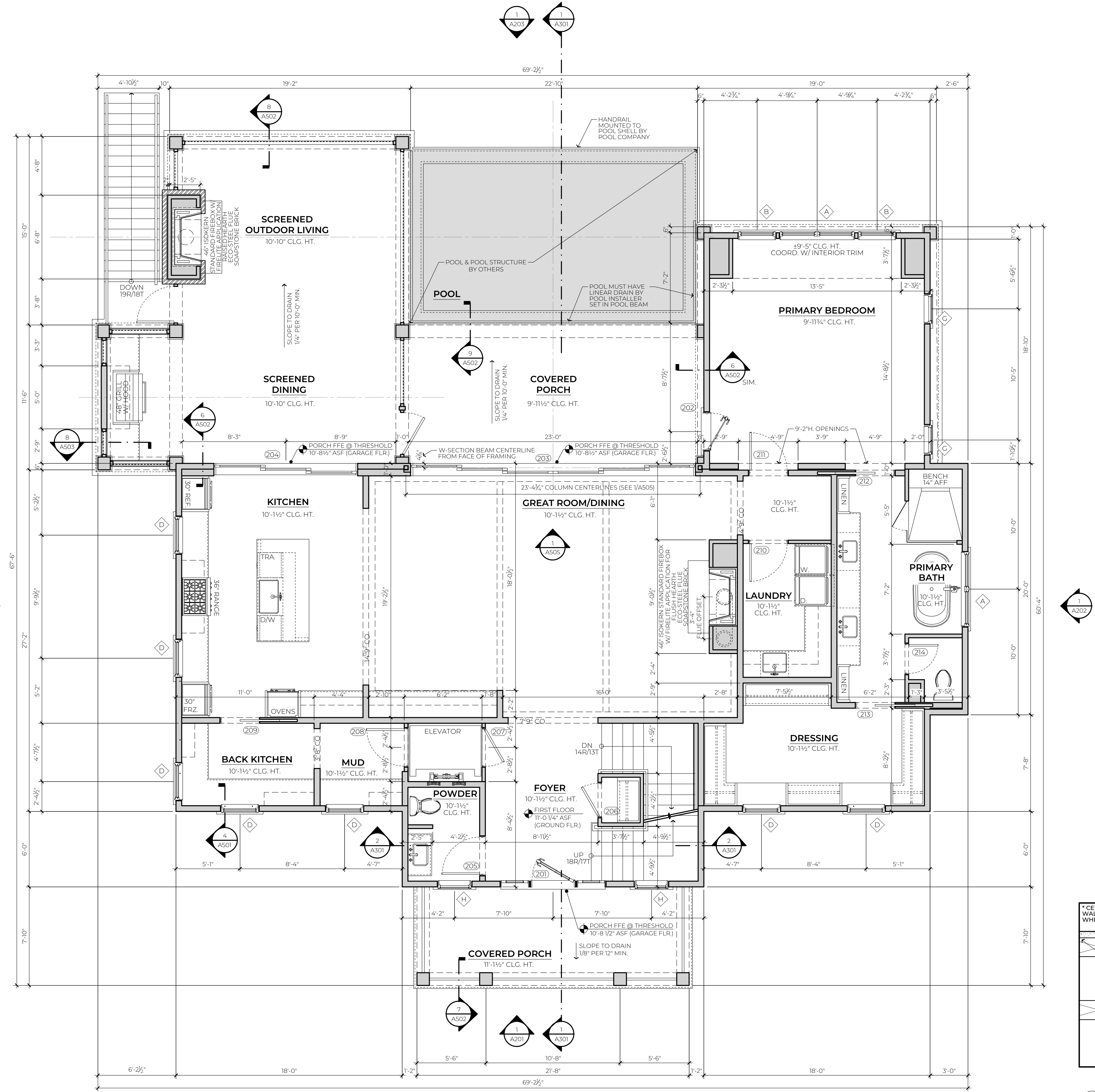
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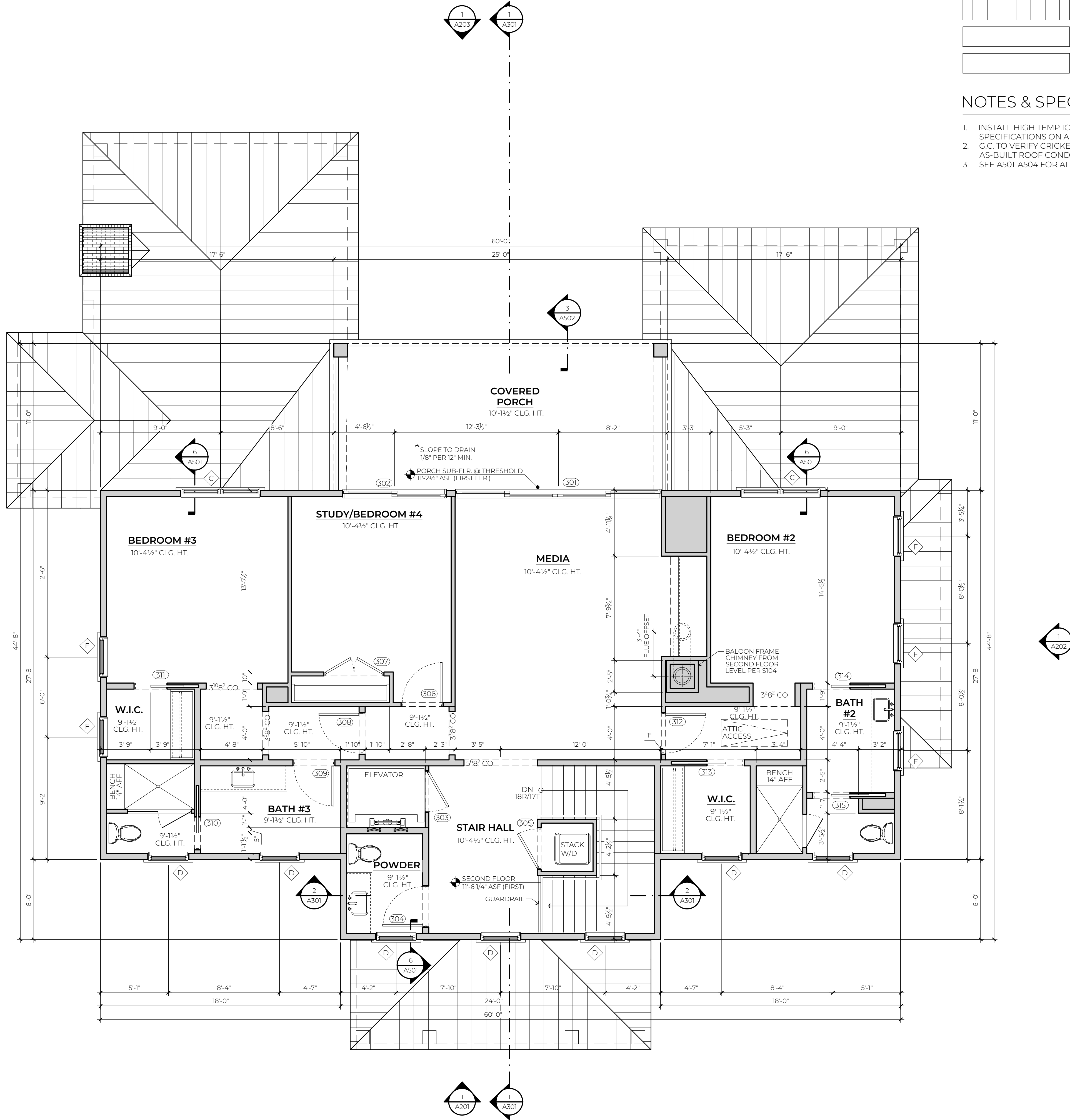
A103

FIRST FLOOR PLAN



TYP. DOOR/C.O.
JAMB SECTION

1 FIRST FLOOR PLAN
A103 1/4" = 1'-0"



KEY

NOTES & SPECIFICATIONS

1. INSTALL HIGH TEMP ICE & WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES
2. G.C. TO VERIFY CRICKET SLOPE, FLASHING, COUNTER FLASHING & AS-BUILT ROOF CONDITIONS FOR PROPER WATER SHED & DRAINAGE
3. SEE A501-A504 FOR ALL EAVE & RAKE OVERHANGS U.O.N.



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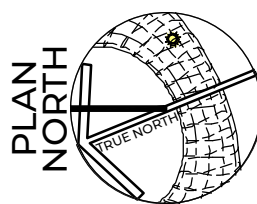


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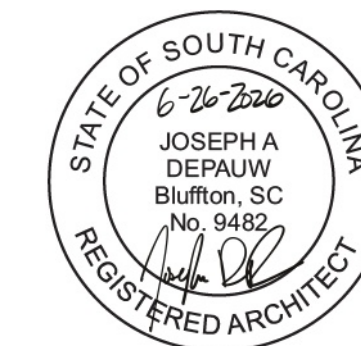


A104

SECOND FLOOR PLAN



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EXTERIOR ELEVATIONS

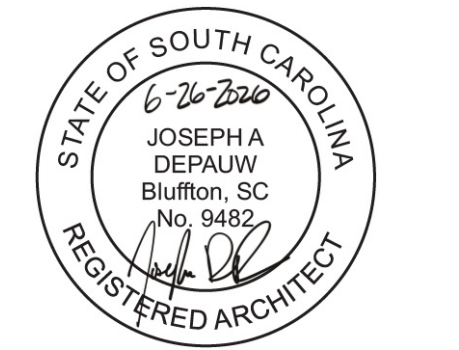
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EXTERIOR ELEVATIONS



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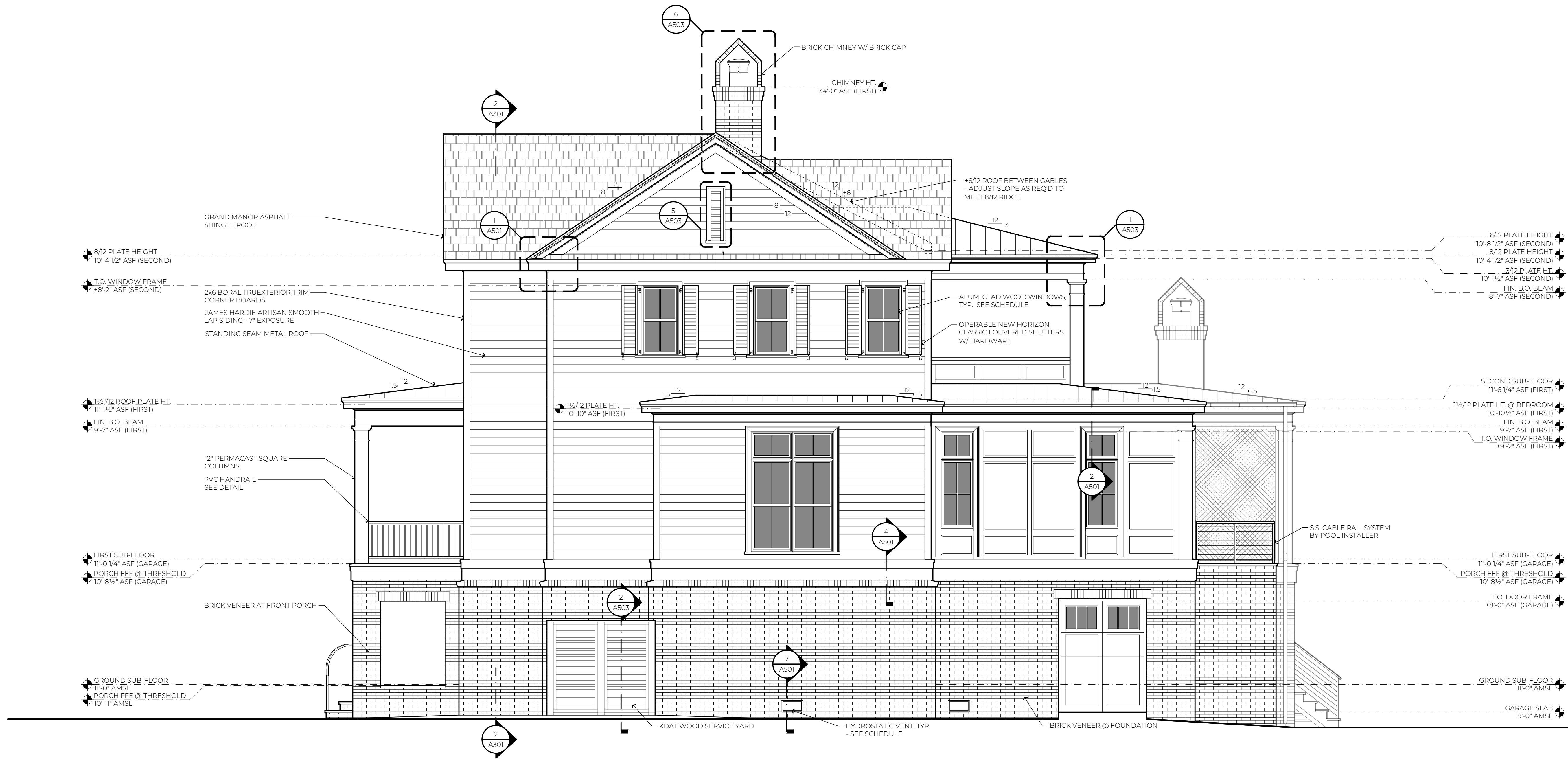
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A202

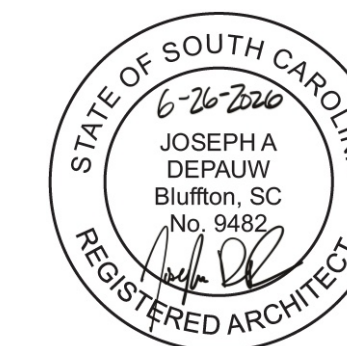
EXTERIOR ELEVATIONS



1 RIGHT ELEVATION
A202 1/4" = 1'-0"



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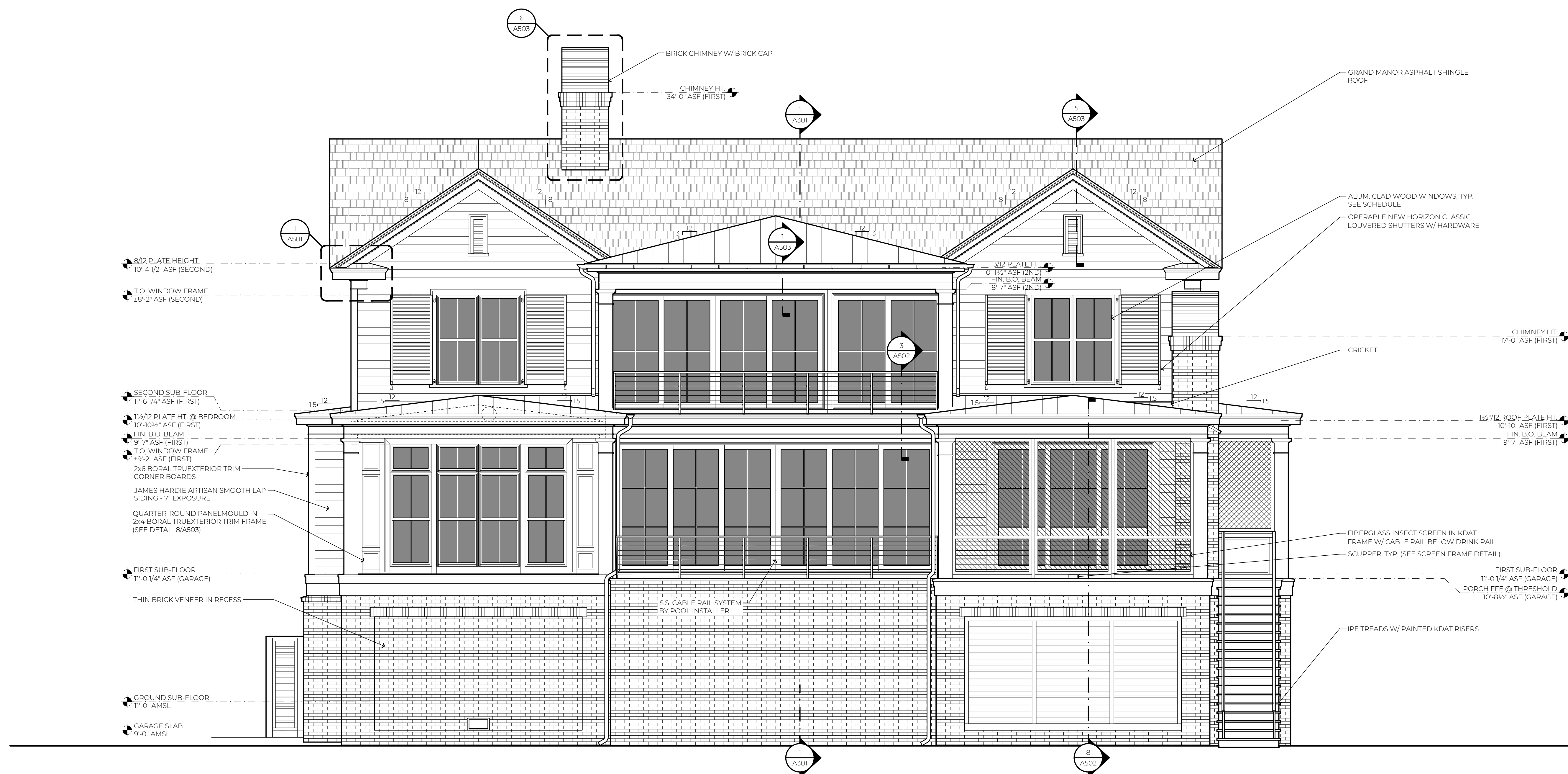
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A203

EXTERIOR ELEVATIONS

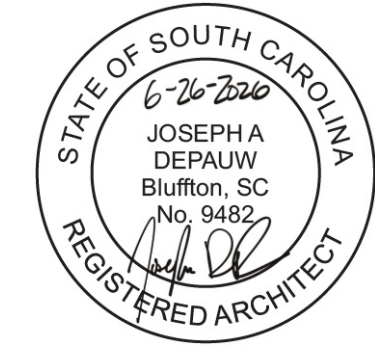
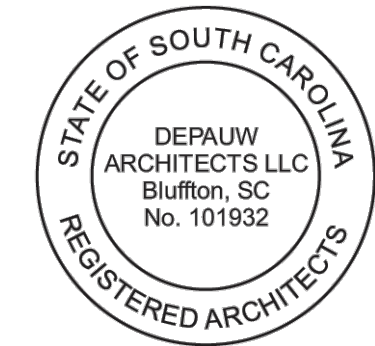


1 REAR ELEVATION
A203 1/4" = 1'-0"



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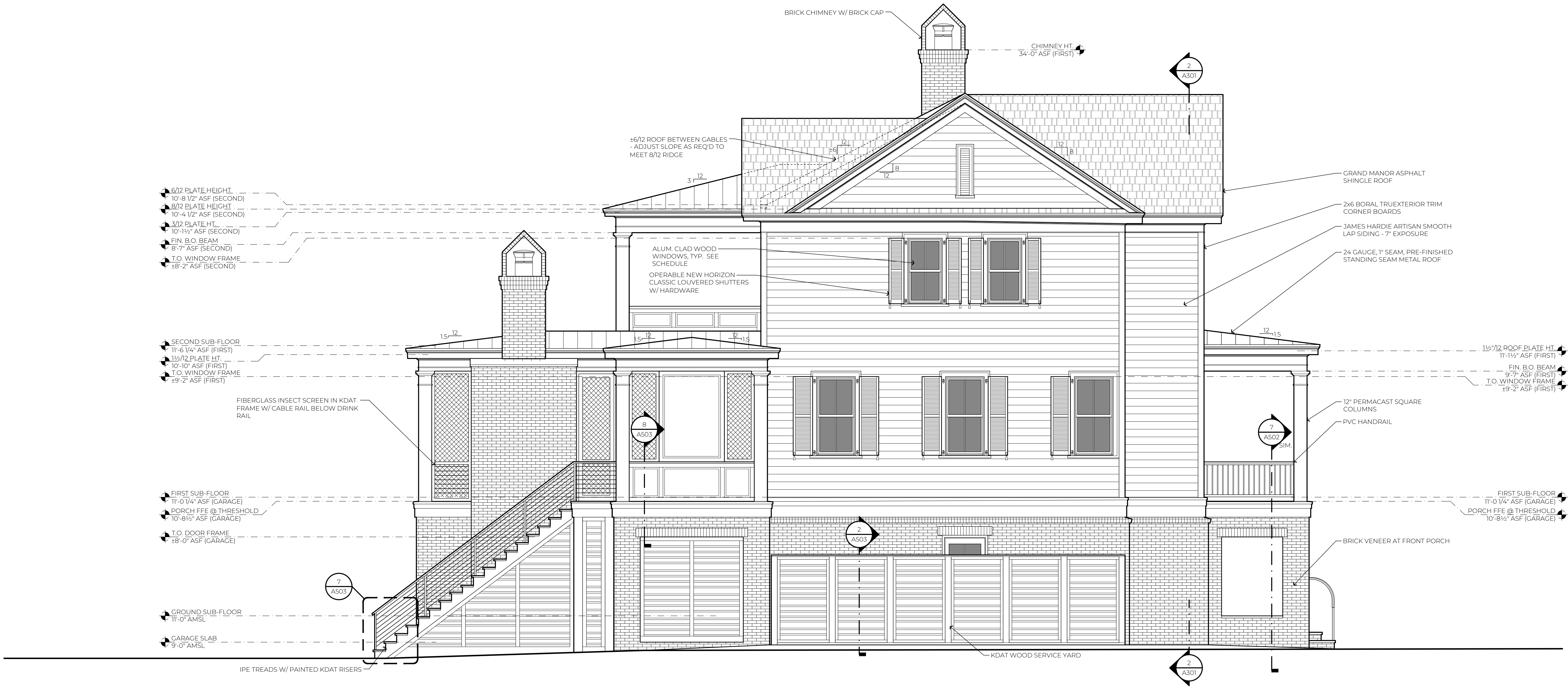
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SHEET

A204

EXTERIOR ELEVATIONS



1 LEFT ELEVATION
A204 1/4" = 1'-0"