

ISSUED FOR FINAL ARB REVIEW

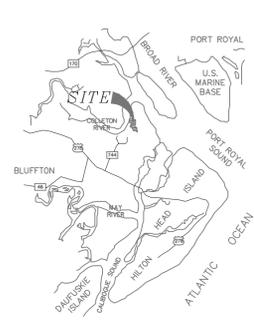
# EDC PARTNERS

LOT 407, #4 HONORS ROW - COLLETON RIVER - BLUFFTON, SC 29910

ABBREVIATIONS:

AB	ANCHOR BOLT	LAM	LAMINATE
ABV	ABOVE	LL	LIVE LOAD
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ASF	ABOVE SUB-FLOOR	LIN	LINEN
A/C	AIR CONDITIONER	MA	MASONRY
AHU	AIR HANDLING UNIT	MAS	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
AMSL	ABOVE MEAN SEA LEVEL	MECH	MECHANICAL
APPROX	APPROXIMATE	MED	MEDIUM
BD	BOARD	MFR	MANUFACTURER
BF	BI-FOLD	MID	MIDDLE
BLKG	BLOCKING	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MUL	MULLION
BOD	BASIS OF DESIGN	N/A	NOT APPLICABLE
BRG	BEARING	N.I.C.	NOT IN CONTRACT
BTW	BETWEEN	NTS	NOT TO SCALE
CAB	CABINET	OC	ON CENTER
CANT	CANTILEVER	OD	OUTSIDE DIMENSION
CEN	CENTER	OH	OVERHANG
CIP	CAST-IN-PLACE	OPNG	OPENING
CJ	CEILING JOIST	OSB	ORIENTED STRAND BOARD
CL	CENTERLINE	PAF	POWER-ACTUATED FASTENER
CLOS	CLOSET	PDE	POP-UP DRAIN EMITTER
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CM	CASEMENT	PL	PLATE
CO	CASED OPENING	PNL	PANEL
COL	COLUMN	PNT	PAINT
CONC	CONCRETE	PMEJ	PRE-MOULDED
CT	CERAMIC TILE		EXPANSION JOINT
DBL	DOUBLE	PR	PAIR
DEMO	DEMOLISH	PT	PRESSURE TREATED
DH	DOUBLE HUNG	PVC	POLYVINYLCHLORIDE
DIA	DIAMETER	PVMT	PAVEMENT
DIM	DIMENSION	PLY	PLYWOOD
DIST	DISTANCE	PWDR	POWDER ROOM
DN	DOWN	R	RADIUS
DR	DOOR	R & S	ROD & SHELF
DW	DISHWASHER	RAG	RETURN AIR GRILL
DWG	DRAWING	REF	REFRIGERATOR
EA	EACH	REQ'D	REQUIRED
ELEV	ELEVATION	RM	ROOM
ELEC	ELECTRICAL	RV	RIDGE VENT
EQ	EQUAL	SAF	SELF-ADHERED FLASHING
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXST	EXISTING	SECT	SECTION
EXT	EXTERIOR	SF	SQUARE FEET
FD	FLOOR DRAIN	SH	SHELF
FDN	FOUNDATION	SIM	SIMILAR
FDTN	FOUNDATION	SND	SANITARY NAPKIN DISPENSER
FF	FINISH FLOOR	SPEC	SPECIFICATION
FFE	FINISH FLOOR ELEVATION	SF	SQUARE FEET
FIN	FINISH	STD	STANDARD
FIX	FIXTURE	STL	STEEL
FIXT	FIXTURE	STOR	STORAGE
FLUOR	FLUORESCENT	SYS	SYSTEM
FLR	FLOOR	T	TREAD
FRZ	FREEZER	T.O.	TOP OF
FRMG	FRAMING	TR	TREATED
FT	FEET	T & G	TONGUE & GROOVE
FTG	FOOTING	TEL	TELEPHONE
GA	GAUGE	TEMP	TEMPORARY/TEMPERATURE
GALV	GALVANIZE	THK	THICK
GL	GLASS	TV	TELEVISION
GYP	GYP SUM	TPH	TOILET PAPER HOLDER
GWB	GYP SUM WALL BOARD	TYP	TYPICAL
HB	HOSE BIBB	UC	UNDER-COUNTER
HDR	HEADER	UNFIN	UNFINISHED
HORIZ	HORIZONTAL	U.O.N.	UNLESS NOTED OTHERWISE
HT	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INSIDE DIMENSION	VB	VAPOR BARRIER
IN	INCH	VER	VERIFY
INCL	INCLUDE	V.I.F.	VERIFY IN FIELD
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	WD	WOOD
JST	JOIST	W/D	WASHER-DRYER
JNT	JOINT	WH	WATER HEATER
KS	KNEE SPACE		

VICINITY MAP | NTS



PROJECT TEAM:

DISCIPLINE	NAME	LICENSE:	PHONE NO:
ARCHITECT	DePAUW ARCHITECTS	101932	(843) 284-7848
LANDSCAPE	EARTHWORKS	1434	(843) 645-3300
STRUCTURAL			

BUILDING CODES:

APPLICABLE CODE:	2021 IRC W/ SC MODIFICATIONS
JURISDICTION:	BEAUFORT COUNTY
CONSTRUCTION TYPE:	V-B

FLOOR AREA CALCULATIONS:

MAIN HOUSE:

GROUND FLOOR:	
HEATED & COOLED:	359 SF
COVERED & ENCLOSED:	2,476 SF
FIRST FLOOR:	
HEATED & COOLED:	2,234 SF
COVERED & ENCLOSED:	601 SF
SECOND FLOOR	
HEATED & COOLED:	1,765 SF
COVERED & ENCLOSED:	163 SF
TOTAL:	
HEATED & COOLED:	4,358 SF
COVERED & ENCLOSED:	3,240 SF

NOTES:

**NOTICE TO PERMITTING AUTHORITY & BUILDING OWNER REGARDING CONSTRUCTION ADMINISTRATION SERVICES:**  
THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SC CODE OF REGULATIONS CHAPTER 11-12.B(5).

ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

**GENERAL NOTES:**  
THE FOLLOWING DOCUMENTS ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS.  
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND THE DOWN REQUIREMENTS.  
SEPARATE MECHANICAL, ELECTRICAL, AND/OR PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.  
SEPARATE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, PLANTING LAYOUTS, HARDSCAPE DETAILS AND OTHER RELATED SITE WORK REQUIREMENTS.  
WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.  
CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.  
FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.  
THE FOLLOWING DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT AS DEFINED UNDER SECTION 102 OF THE COPYRIGHT ACT (TITLE 17 OF THE UNITED STATES CODE).

**DIMENSION NOTES:**  
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, & FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N.

**PLUMBING NOTES:**  
G.C. TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTORS PRIOR TO PLACING SLAB. G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

**FOUNDATION NOTES:**  
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS & REINFORCING, AND CONNECTION DETAILS.  
SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.  
UNLESS OTHERWISE NOTED BY STRUCTURAL ENGINEERING DOCUMENTS, THE FOUNDATION IS TO BE AS FOLLOWS:  
TYPICAL SLAB ON GRADE:  
SLAB ON GRADE TO BE 4" THICK, CAST IN PLACE CONCRETE REINFORCED WITH ONE LAYER OF 6x6-WI 4xWI 4 WWM OR 15 PCY OF FIBER REINFORCING ON 10 MIL. POLYETHYLENE VAPOR BARRIER, TURNED DOWN EDGE TO BE A MINIMUM OF 20"x20", EXTENDING A MINIMUM OF 12" INTO UNDISTURBED SOIL, AND REINFORCED WITH (2) #5'S OR (3) #4'S CONTINUOUS.

TYPICAL THICKENED SLAB:  
PROVIDE THICKENED SLAB FOOTINGS BELOW ALL WALLS THAT SUPPORT ROOF AND/OR FLOOR LOADS FROM ABOVE. THICKENED SLABS TO BE A MINIMUM OF 20"x12" AND REINFORCED WITH (2) #5'S OR (3) #4'S CONTINUOUS.  
ALL TOP OF WALL NOTES ARE TO THE TOP OF CMU BLOCK U.O.N.  
AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN OR EQUAL) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.  
**FRAMING NOTES:**  
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS, AND CONNECTION DETAILS.  
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT & CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.  
WALLS:  
EXTERIOR: 1/2" PLYWOOD SHEATHING AT EXTERIOR SIDE ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.  
INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.  
DOORS & CASED OPENINGS TO BE CENTERED BETWEEN ADJACENT WALL FRAMING, UNLESS OTHERWISE DIMENSIONED.  
FIRST FLOOR SYSTEM:  
CONCRETE SLAB FLOOR WITH 3/4" ENGINEERED HARDWOOD FLOOR INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER 10 MIL. POLYETHYLENE VAPOR BARRIER TYP.  
SECOND FLOOR SYSTEM:  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" MANUFACTURED OPEN WEB TRUSS JOIST SYSTEM.  
BONUS FLOOR SYSTEM:  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" MANUFACTURED OPEN WEB TRUSS JOIST SYSTEM.  
PORCH FLOOR SYSTEM:  
CONCRETE SLAB FLOOR WITH TABBY FINISH AND BRICK ROWLOCK BORDER  
ATTIC FLOOR SYSTEM:  
EXTENT TO BE DETERMINED BY G.C./OWNER - 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12 FRAMING.  
CEILING JOISTS:  
2x8 FRAMING (2x10 FOR CERTAIN SPANS).  
ROOF RAFTERS:  
3/2" EXT SHEATHING, NAILED ON 2x8 ROOF FRAMING (BRACED AT MID-SPAN WHERE REQUIRED) WITH SIMPSON HURRICANE CLIPS.

**CABINET & EQUIPMENT NOTES:**  
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. G.C./OWNER TO DETERMINE EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS WITH APPROPRIATE SUBCONTRACTORS AND DESIGNERS.  
**FINISH NOTES:**  
G.C./OWNER TO DETERMINE ALL FLOOR, WALL, & CEILING FINISHES AND INTERIOR TRIM. G.C. TO ADJUST SLAB HEIGHT AND FRAMING LOCATIONS AS REQUIRED TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

DRAWING INDEX:

SHEET #	SHEET DESCRIPTION		
<b>GENERAL</b>			
A001	COVER	■	■
<b>SURVEY</b>			
SURVEY			
<b>ARCHITECTURAL SITE</b>			
AS101	SITE PLAN	■	■
AS102	STREETSCAPE ELEVATION	■	■
<b>LANDSCAPE</b>			
L-1	DRAINAGE, HARDSCAPE & LANDSCAPE		■
L-2	PLANTING PLAN		■
L-3	IMAGERY		■
L-4	DETAILS		■
<b>ARCHITECTURAL</b>			
A101	FOUNDATION PLAN		■
A102	GROUND FLOOR PLAN	■	■
A103	FIRST FLOOR PLAN	■	■
A104	SECOND FLOOR PLAN	■	■
A105	ROOF PLAN	■	■
A201	EXTERIOR ELEVATIONS	■	■
A202	EXTERIOR ELEVATIONS	■	■
A203	EXTERIOR ELEVATIONS	■	■
A204	EXTERIOR ELEVATIONS	■	■
A501	DETAILED SECTIONS		■
A502	DETAILED SECTIONS		■
A503	DETAILED SECTIONS		■
A504	DETAILED SECTIONS		■
A601	DOOR & WINDOW SCHEDULES		■
<b>ARCHITECTURAL ELECTRICAL</b>			
AE101	GROUND FLOOR ELECTRICAL PLAN		■
AE102	FIRST LIVING LEVEL ELECTRICAL PLAN		■
AE103	SECOND LIVING LEVEL ELECTRICAL PLAN		■

11/04/25 PRELIMINARY ARB REVIEW  
12/2/25 FINAL ARB REVIEW



**DePAUW**  
ARCHITECTS

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EDC LOT 407  
LOT 407, #4 HONORS ROW  
COLLETON RIVER  
BLUFFTON, SC 29910

REVISIONS	

PROJECT NO.	2503
CONTACT	LRD
DATE	12.02.2025

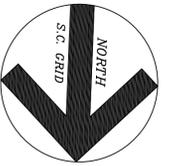
SHEET

A001

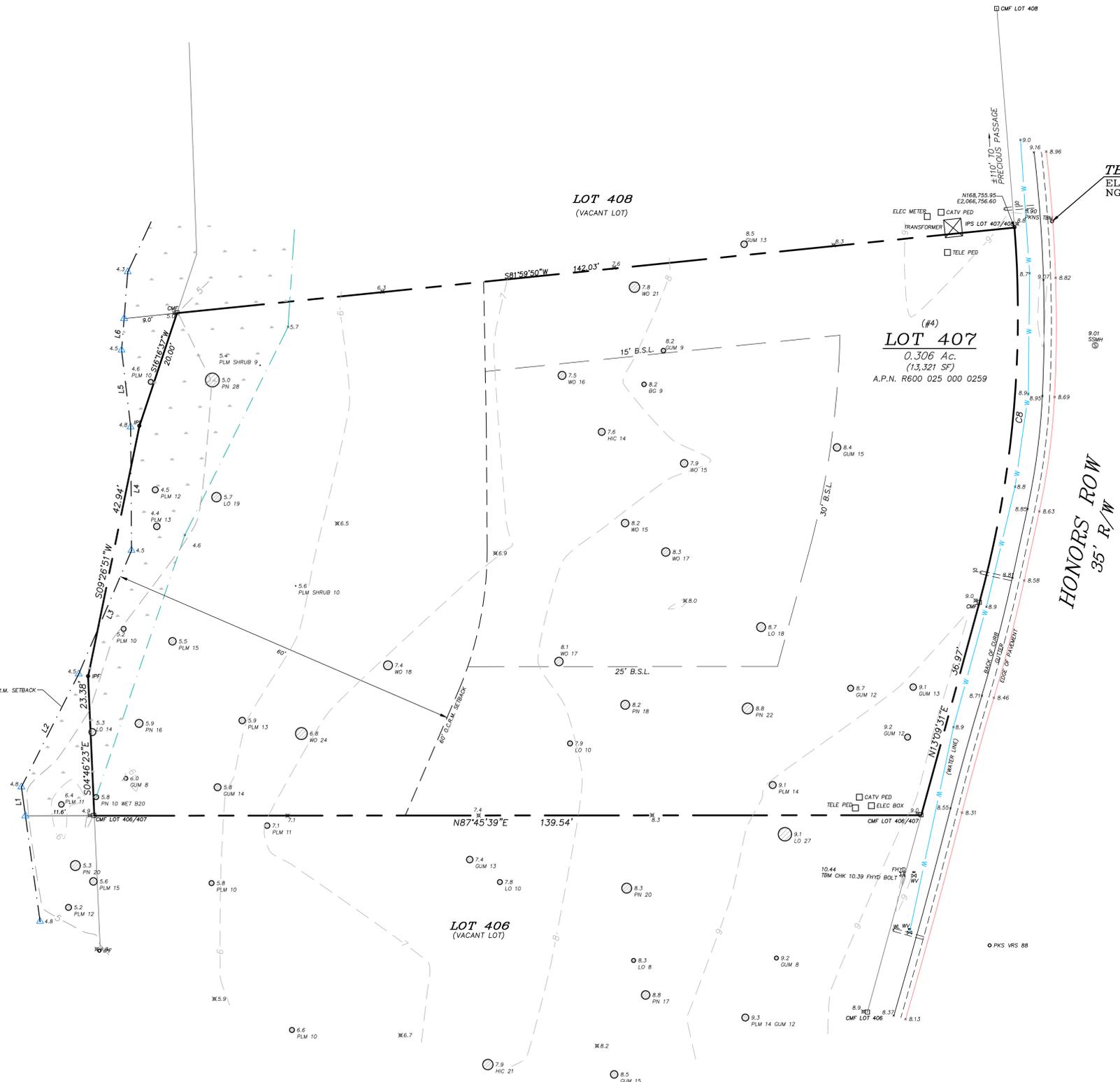
COVER SHEET



VICINITY MAP - N.T.S.



MARSHES OF THE CHECHESSEE RIVER



TBM (PK NAIL SET)  
 EL. = 8.90' M.S.L.  
 NGVD-'88

(#4)  
**LOT 407**  
 0.306 Ac.  
 (13,321 SF)  
 A.P.N. R600 025 000 0259

HONORS ROW  
 35' R/W

LOT 406  
 (VACANT LOT)

LOT 408  
 (VACANT LOT)

**LEGEND**

BC	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
CYP	CYPRESS
GUM	GUM
IPF	IRON PIN (OLD) FOUND
IPF BRKN	IPF FOUND BROKEN
IPF DISTRB	IPF FOUND DISTURBED
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALMETTO
PLN	PINE
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE PED	TELEPHONE PEDESTAL
WO	WATER OAK

**LINE TABLE**

L#	LENGTH	DIRECTION
L1	4.90'	S10°08'26"E
L2	21.28'	S24°48'52"W
L3	22.59'	S21°02'28"W
L4	20.72'	S02°36'00"E
L5	13.03'	S08°58'36"E
L6	5.32'	S02°22'02"W

- NOTES:**
- THIS LOT LIES IN ZONE "AE", B.F.E. = 10.0' PER F.I.R.M. PANEL 45013C02916, COMMUNITY NO. 450025, EFFECTIVE: 03/23/21.
  - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
  - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

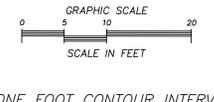
THE AREA SHOWN ON THIS PLAT HEREON IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. ORIGINAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY SIGNING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY ORIGINAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE  
 The critical line shown on this plot is valid for five years from the date of this signature, subject to the cautionary language above.

**REFERENCE PLAT:**  
 A SUBDIVISION PLAT OF LOTS 404-408 BEING A PORTION OF COLLETON RIVER PLANTATION SINGLE FAMILY HOMESITES AND COTTAGE SITES BY: THOMAS & HUTTON ENG. CO. DATED: 02/28/02 FILE: J-12618 RECORDED: P.B.86 PAGE 33

**LABEL DESCRIPTIONS (TYP.)**

→	TREE LOCATION
○ 18.4	GROUND ELEVATION
PN 18	TREE SPECIES & DIAMETER (IN)



PREPARED FOR: **EDC PARTNERS**

A TREE AND TOPOGRAPHIC LAND SURVEY OF  
**LOT 407 HONORS ROW**  
 A PORTION OF  
**COLLETON RIVER PLANTATION**  
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 10'  
 DATE: 11/10/21  
 JOB No.: 71,348T

SURVEYED BY: LD  
 DRAWN BY: JTG  
 CHECKED BY: MRD

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN  
 S.C.R.L.S. NO. 11905







LOT 405

LOT 406

LOT 407

LOT 408

1 STREETScape ELEVATION  
AS102 1/16" = 1'-0"



2 STREETScape PLAN  
AS102 1/16" = 1'-0"



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EDC LOT 407  
LOT 407, #4 HONORS ROW  
COLLETON RIVER  
BLUFFTON, SC 29910

REVISIONS


PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025

SHEET

AS102

STREETScape ELEVATION

**DRAINAGE & GRADING KEY**

- - - - EXISTING GRADE
- PROPOSED CONTOUR
- CENTERLINE OF SWALE
- PROPOSED FLOW
- +17.4 SPOT ELEVATION
- AREA DRAIN
- DOWNSPOUT CONNECTION
- 4" PIPE
- 6" PIPE
- 8" PIPE
- FRENCH DRAIN
- RAIN GARDEN

**ABBREVIATIONS**

- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- HIF HIGH POINT
- LP LOW POINT
- RIM TOP OF DRAIN
- BW BOTTOM OF WALL
- TW TOP OF WALL
- BS BOTTOM OF STEP
- TS TOP OF STEP
- TOC TOP OF CURB
- BOC BOTTOM OF CURB

**LIGHTING KEY**

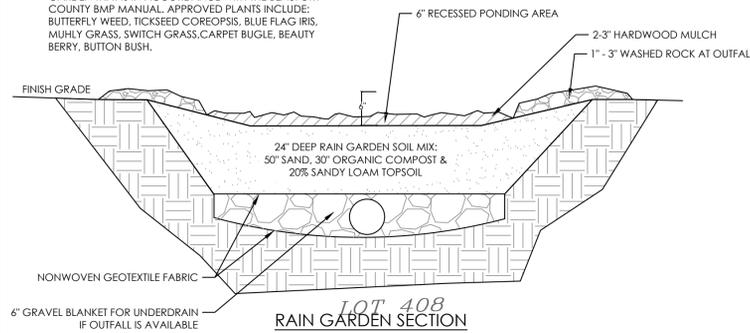
- 2 UP LIGHT(S)  
CM.115AF
- 0 DOWN LIGHT(S)  
CM.115UAF
- 3 PATH LIGHT(S)  
CM.9020AF

FINISH: ANTIQUE

NOTES: LIGHT SOURCE TO BE HIDDEN AND NOT POINT TOWARDS PROPERTY LINES.  
SEE DETAILS ON DETAIL SHEET.

RAIN GARDEN SHAPE MAY BE MODIFIED TO COMPLIMENT THE LANDSCAPE PLAN BUT THE OVERALL SURFACE AREA MUST BE MAINTAINED.

IF DESIRED, VEGETATION MAY BE INSTALLED IN RAIN GARDEN THAT IS IN ACCORDANCE WITH THE BEAUFORT COUNTY BMP MANUAL. APPROVED PLANTS INCLUDE: BUTTERFLY WEED, TICKSEED COREOPSIS, BLUE FLAG IRIS, MUHLY GRASS, SWITCH GRASS, CARPET BUGLE, BEAUTY BERRY, BUTION BUSH.

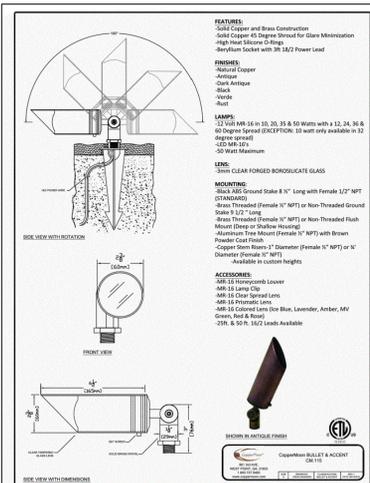
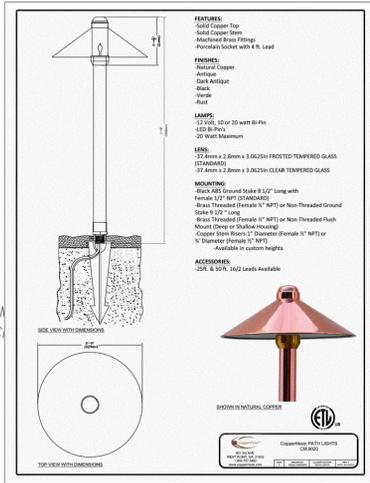


**SITE CALCULATIONS**

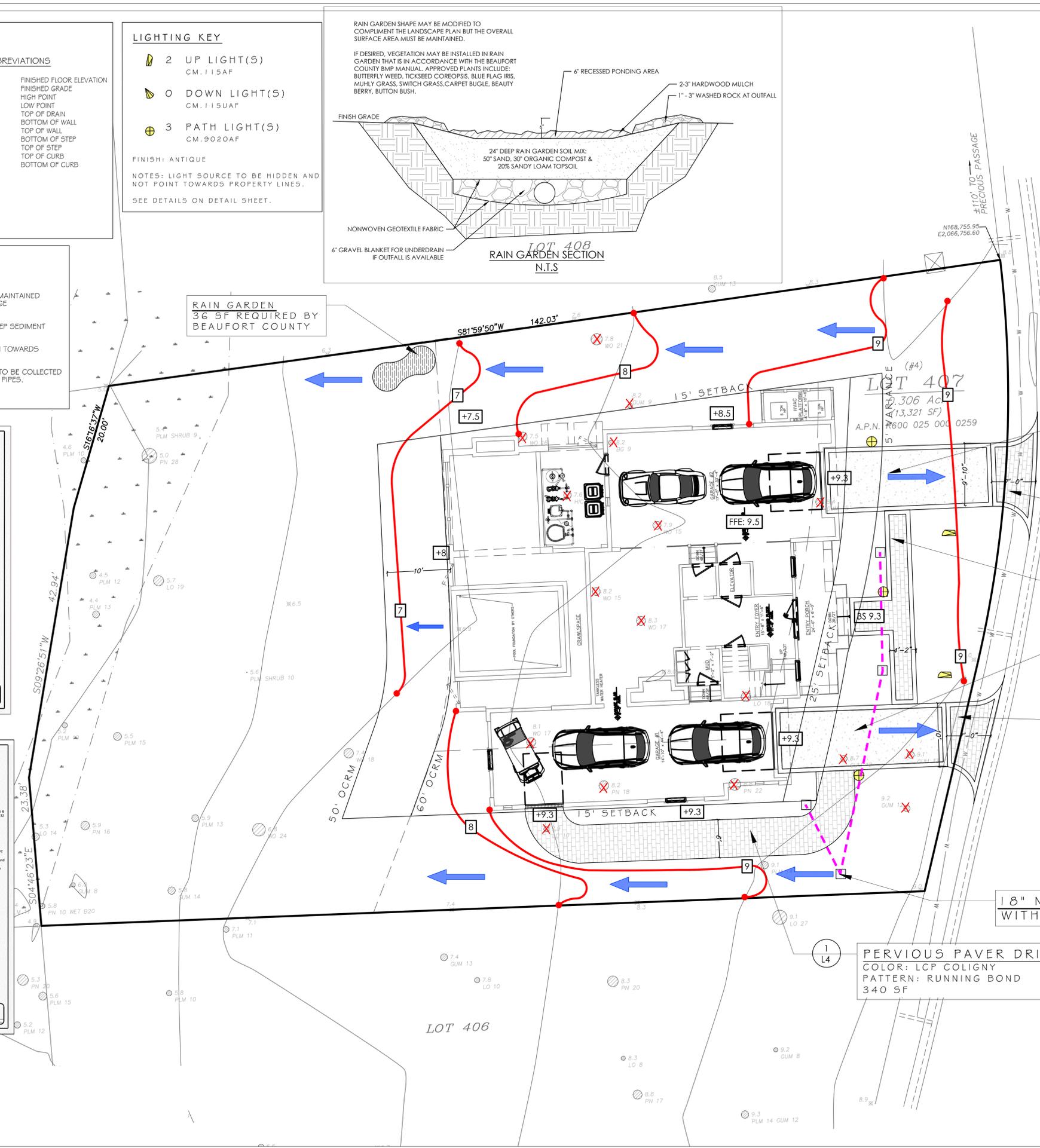
TOTAL BUILDING FOOTPRINT.....	2897 sf
TOTAL IMPERVIOUS.....	1050 sf
TOTAL IMPERVIOUS (HARDSCAPE AND HOUSE).....	3947 sf
TOTAL LOT SQUARE FOOTAGE.....	13,321 sf
TOTAL IMPERVIOUS AS PERCENTAGE OF LOT.....	29.6%

**DRAINAGE NOTES**

- GRADE SLOPES AWAY FROM BUILDING.
- CONTRACTOR TO INSURE THAT SITE DRAINAGE WILL BE MAINTAINED WITHIN THE PROPERTY BOUNDARIES AND THAT NO DRAINAGE WILL BE DIRECTED ONTO ADJACENT PROPERTIES.
- CONTRACTOR TO INSTALL SILT FENCE AS NEEDED TO KEEP SEDIMENT ON-SITE.
- THE PAD UNDER THE HOUSE IS TO BE SLOPED TO DRAIN TOWARDS THE PERIMETER OF THE HOUSE.
- IF HOUSE IS TO BE GUTTERED, ALL DOWN SPOUTS ARE TO BE COLLECTED AND DIRECTED TO LANDSCAPE SWALE VIA UNDER GROUND PIPES.



RAIN GARDEN  
36 SF REQUIRED BY  
BEAUFORT COUNTY



CONCRETE DRIVE  
SALT VOID FINISH  
BORDER: HEADER  
225 SF, 75 LF

BRICK APRON  
BORDER: HEADER  
COLOR: LCP COLIGNY  
PATTERN: RUNNING BOND  
85 SF

PERVIOUS PAVER WALK  
BORDER: HEADER  
COLOR: LCP COLIGNY  
PATTERN: RUNNING BOND  
160 SF

CONCRETE DRIVE  
SALT VOID FINISH  
BORDER: HEADER  
225 SF, 75 LF

BRICK APRON  
BORDER: HEADER  
COLOR: LCP COLIGNY  
PATTERN: RUNNING BOND  
90 SF

18" NDS CATCH BASIN (1 OF 4)  
WITH 6" SDR PIPE

PERVIOUS PAVER DRIVE  
COLOR: LCP COLIGNY  
PATTERN: RUNNING BOND  
340 SF



**EARTHWORKS**  
Landscape Construction

291 Red Cedar Street  
Suite 101  
Bluffton, SC 29910  
843.645.3300

www.earthworks-sc.com

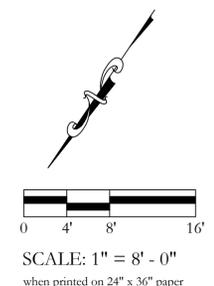
**EDC PARTNERS LOT 407**

LOT 407, HONORS ROW  
BLUFFTON, SC 29910

DRAWN BY:	TW 10/22/25
	LB + TW 10/29/25
	LB + TW 11/04/25
	AC 11/25/25
	AC 12/01/25

**DRAINAGE,  
HARDSCAPE &  
LIGHTING**

SHEET: L-1





**EARTHWORKS**  
Landscape Construction

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Suite 101  
Bluffton, SC 29910  
843.645.3300

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**EDC PARTNERS LOT 407**

LOT 407, HONORS ROW  
BLUFFTON, SC 29910

DRAWN BY: TW 10/22/25

LB + TW 10/29/25

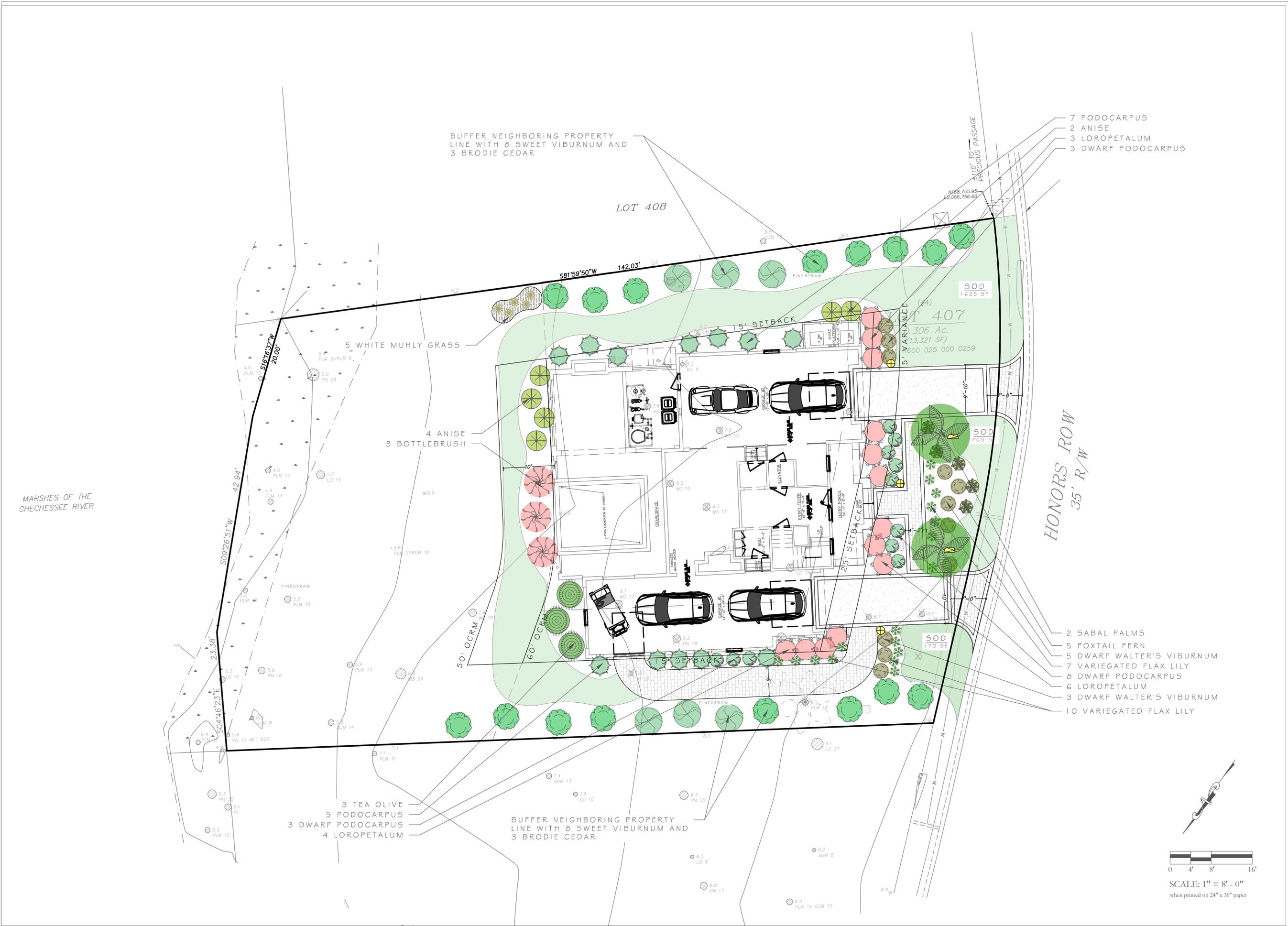
LB + TW 11/04/25

AC 11/25/25

AC 12/01/25

**PLANTING  
PLAN**

SHEET: I-2



MARSHES OF THE  
CHECHESSEE RIVER

BUFFER NEIGHBORING PROPERTY  
LINE WITH 8 SWEET VIBURNUM AND  
3 BRODIE CEDAR

LOT 408

LOT 407  
5' VARIANCE (#4)  
306 Ac.  
(13,321 SF)  
600 025 000 0259

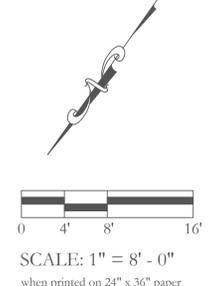
HONORS ROW  
35' R/W

3 TEA OLIVE  
5 PODOCARPUS  
3 DWARF PODOCARPUS  
4 LOROPETALUM

BUFFER NEIGHBORING PROPERTY  
LINE WITH 8 SWEET VIBURNUM AND  
3 BRODIE CEDAR

7 PODOCARPUS  
2 ANISE  
3 LOROPETALUM  
3 DWARF PODOCARPUS

2 SABAL PALMS  
5 FOXTAIL FERN  
5 DWARF WALTER'S VIBURNUM  
7 VARIEGATED FLAX LILY  
8 DWARF PODOCARPUS  
6 LOROPETALUM  
3 DWARF WALTER'S VIBURNUM  
10 VARIEGATED FLAX LILY





BRODIE CEDAR



ANISE



DWARF PODOCARPUS



LOROPETALUM



PODOCARPUS



SWEET VIBURNUM



TEA OLIVE



WALTER'S VIBURNUM



FOXTAIL FERN



BOTTLEBRUSH



VARIEGATED FLAX LILY



SOD



PINESTRAW



SABAL PALM



WHITE MUHLY GRASS

PLANT SCHEDULE							
<b>OVERSTORY TREES:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Caliper	Gallon
6	Brodie Cedar	<i>Juniperus virginiana 'Brodie'</i>		8'	3-4'		
<b>PALMS:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
2	Sabal Palmetto*^	<i>Sabal palmetto</i>	refoliated	12-16'	3-4'		B&B
<b>SHRUBS:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
6	Anise*	<i>Illicium parviflorum</i>		24-36"	2-3'		7
3	Bottlebrush, Crimson	<i>Callistemon citrinus</i>		36"-48"	36"-48"		15
11	Podocarpus, Dwarf	<i>Podocarpus macrophyllus 'Pringles'</i>		18-24"	18-24"		7
13	Loropetalum	<i>Loropetalum chinense 'Ceris Charm'</i>		2-3'	2-3'		7
12	Podocarpus	<i>Podocarpus macrophyllum maki</i>		3-4'	2'		15
16	Sweet Viburnum	<i>Viburnum odoratissimum</i>		24-36"	2-3'		7
3	Tea Olive	<i>Osmanthus fragrans</i>		3-4'	3-4'		15
11	Viburnum, Walters*	<i>Viburnum obovatum 'Mrs. Schiller's Delight'</i>		2-3'	2'		7
<b>SUBTROPICALS:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
5	Fern, Foxtail^	<i>Asparagus aethiopicus</i>		1-2'	1-2'		3
<b>VINES GROUNDCOVERS AND GRASSES:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
5	White Muhly Grass*	<i>Muhlenbergia capillaris 'White Cloud'</i>		1-2'	1-2'		3
<b>PERENNIALS &amp; ANNUALS:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
17	Variegated Flax Lily	<i>Dianella tasmanica 'Variegata'</i>		1-2'	1-2'		3
<b>SOD &amp; MULCH:</b>							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
2060	Sod estimate	Empire Zoysia					SF
2,795	Pine straw estimate						SF
NOTE: Deer damage is not covered by Earthworks plant warranty. Deer preference and browsing habits vary by season and location.							
* Native Plant							
^Sub Tropical Plant							



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IMAGERY

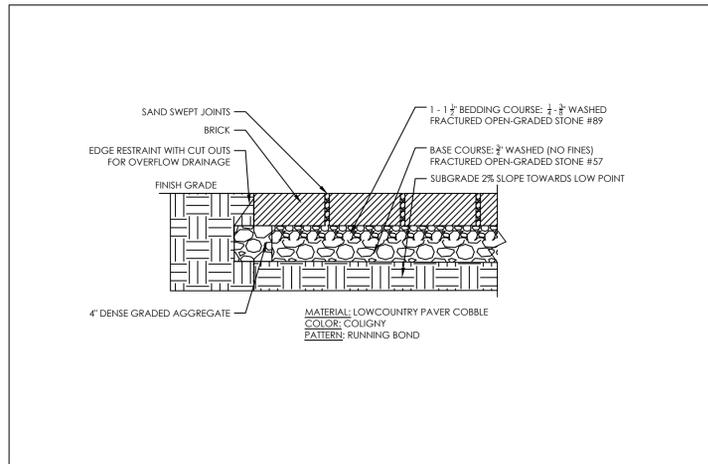
SHEET: L-3



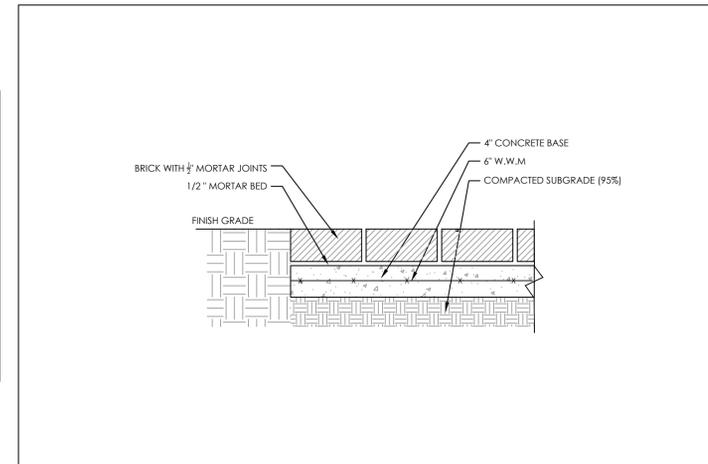
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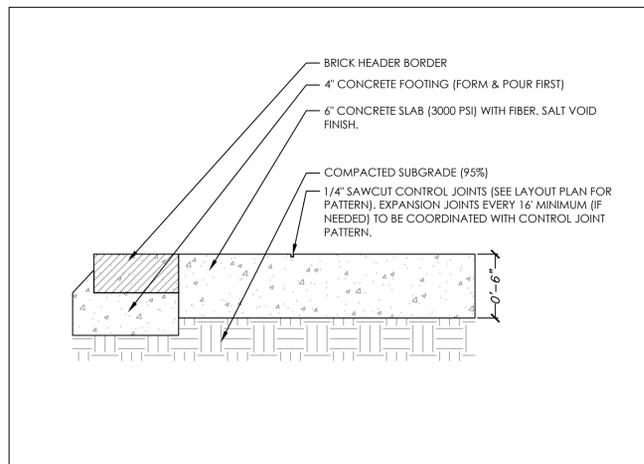
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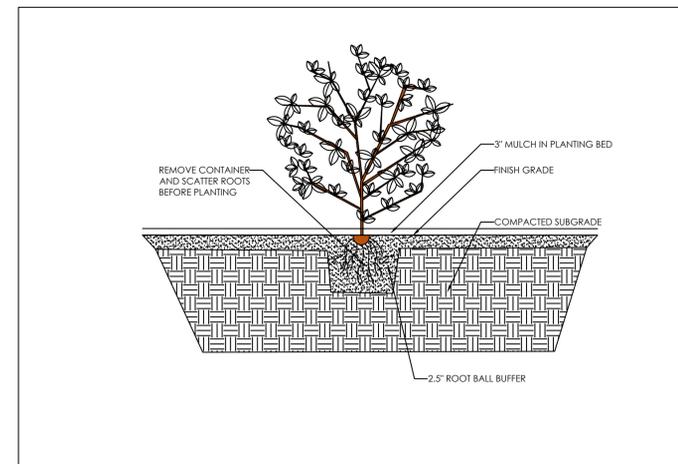
1 PERVIOUS PAVER WALK & PATIO WITH BORDER  
N.T.S.



2 IMPERVIOUS BRICK APRON WITH BORDER  
N.T.S.



3 SALT VOID CONCRETE DRIVEWAY W/ BRICK BORDER  
SCALE: 1 1/2" = 1'-0"



4 SHRUB INSTALLATION  
N.T.S.

EDC PARTNERS LOT 407

LOT 407, HONORS ROW  
BLUFFTON, SC 29910

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LB + TW 10/29/25  
LB + TW 11/04/25  
AC 11/25/25  
AC 12/01/25

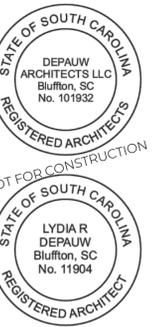
DETAILS

SHEET: L-4



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EDC LOT 407  
LOT 407, #4 HONORS ROW  
COLLETON RIVER  
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025

SHEET

A102

GROUND FLOOR PLAN

FLOOD VENT SCHEDULE

MARK	DESCRIPTION	MODEL NO.	PERIMETER FLOOD VENTS PROVIDED	INTERIOR FLOOD VENTS PROVIDED	COVERAGE AREA PROVIDED (EXTERIOR VENTS)	TRIM KIT MODEL NO.	TRIM KITS PROVIDED
V01	SMART VENT INSULATED	1540-520	5	1	1,000 SQ. FT.	--	0
V02	SMART VENT INSULATED WOOD WALL	1540-570	4	0	800 SQ. FT.	--	0
V03	SMART VENT WOOD WALL W FIRE DAMPER	1540-570 W/1540-537	0	2	0 SQ. FT.	--	0
PROJECT TOTAL			VARIES	4	1,800 SQ. FT.	---	0

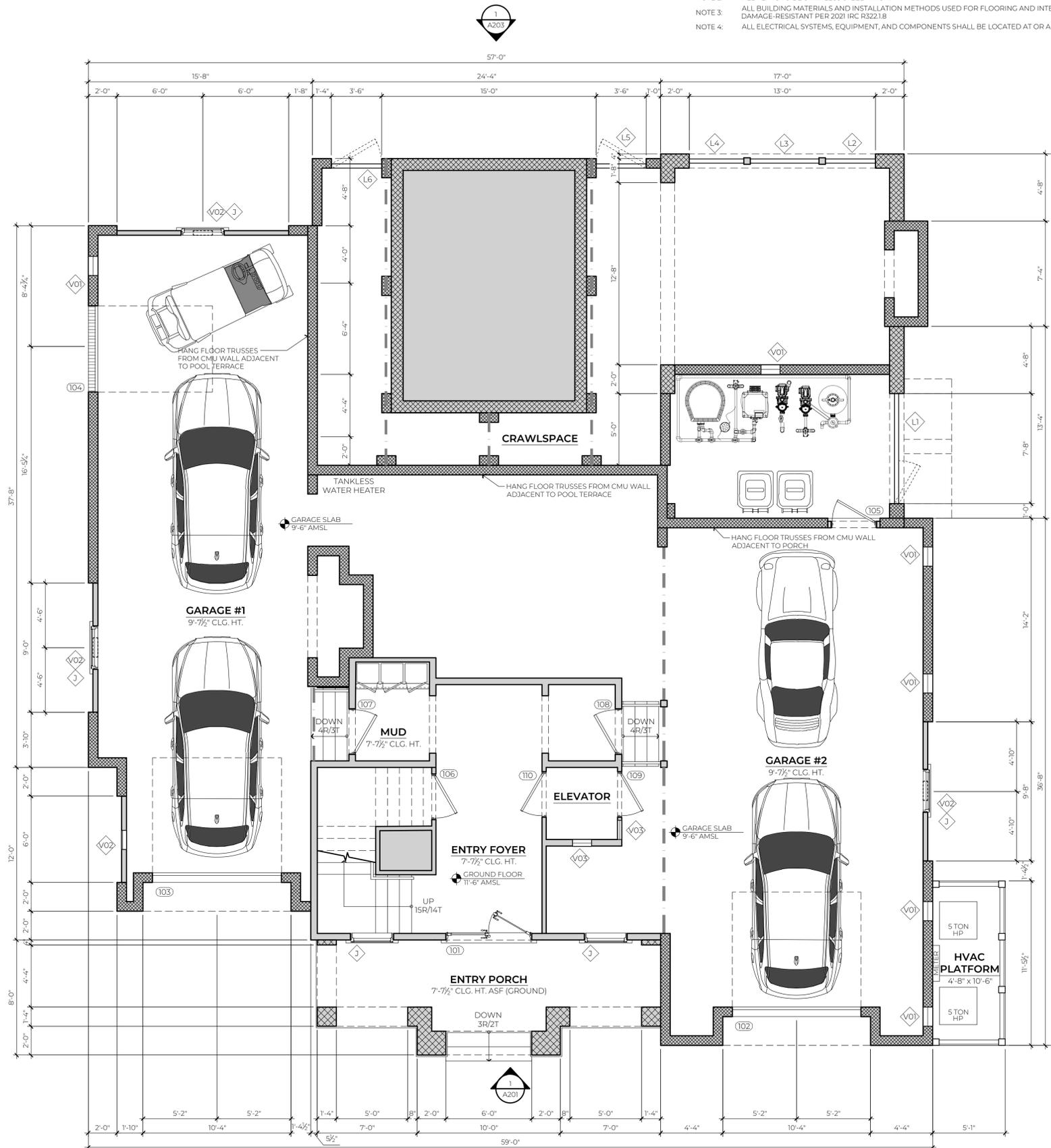
- NOTE 1: ALL FLOOD VENTS TO BE SMARTVENT, ICC-ES CERTIFIED 200 SQ. FT. COVERAGE U.O.N.  
 NOTE 2: ALL VENTS TO BE STAINLESS STEEL FINISH.  
 NOTE 3: ALL BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR & EXTERIOR WALL CONSTRUCTION BELOW 13'-0" AMSL ARE TO BE FLOOD DAMAGE-RESISTANT PER 2021 IRC R322.1.8  
 NOTE 4: ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE 13'-0" AMSL PER 2021 IRC R322.1.6

NON-ENGINEERED LOUVERED VENTING SCHEDULE

MARK	AREA SQ. IN. (FREE OF FRAME, BELOW D.F.E.)	CONVERSION FACTOR	AREA OF NET FREE OPENING
V1	2,170	0.396	859
V2	1,092	0.396	432
V3	1,325	0.396	524
V4	1,092	0.396	432
V5	927	0.396	367
V6	927	0.396	367
TOTAL NET FREE AREA:			2,981 SQ. IN.

CRAWLSPACE HYDROSTATIC VENTING CALCULATIONS

GARAGES & ELEVATOR	
AREA OF BELOW FLOOD:	1,709 SQ. FT.
VENTING PROVIDED BY ENGINEERED OPENINGS:	1,800 SQ. FT.
(SEE FLOOD VENT SCHEDULE)	
REMAINING VENTING REQUIRED:	0 SQ. IN.
CRAWLSPACE BELOW PORCHES (INCLUDING POOL EQUIPMENT)	
AREA OF BELOW FLOOD:	629 SQ. FT.
VENTING PROVIDED BY ENGINEERED OPENINGS:	0 SQ. FT.
(SEE FLOOD VENT SCHEDULE)	
REMAINING AREA TO BE VENTED BY NON-ENGINEERED OPENINGS:	629 SQ. FT.
TOTAL NET AREA OF NON-ENGINEERED OPENINGS REQUIRED:	
(R322.2.2.1 REQ'S 1 SQ. IN. PER 1 SQ. FT. OF ENCLOSED AREA)	
NON-ENGINEERED OPENINGS PROVIDED:	2,981 SQ. IN.
LOUVERS:	2,981 SQ. IN.
TOTAL NON-ENGINEERED OPENING AREA PROVIDED:	2,981 SQ. IN.
REMAINING VENTING REQUIRED:	0 SQ. IN.



1 A102 GROUND FLOOR PLAN  
1/4" = 1'-0"









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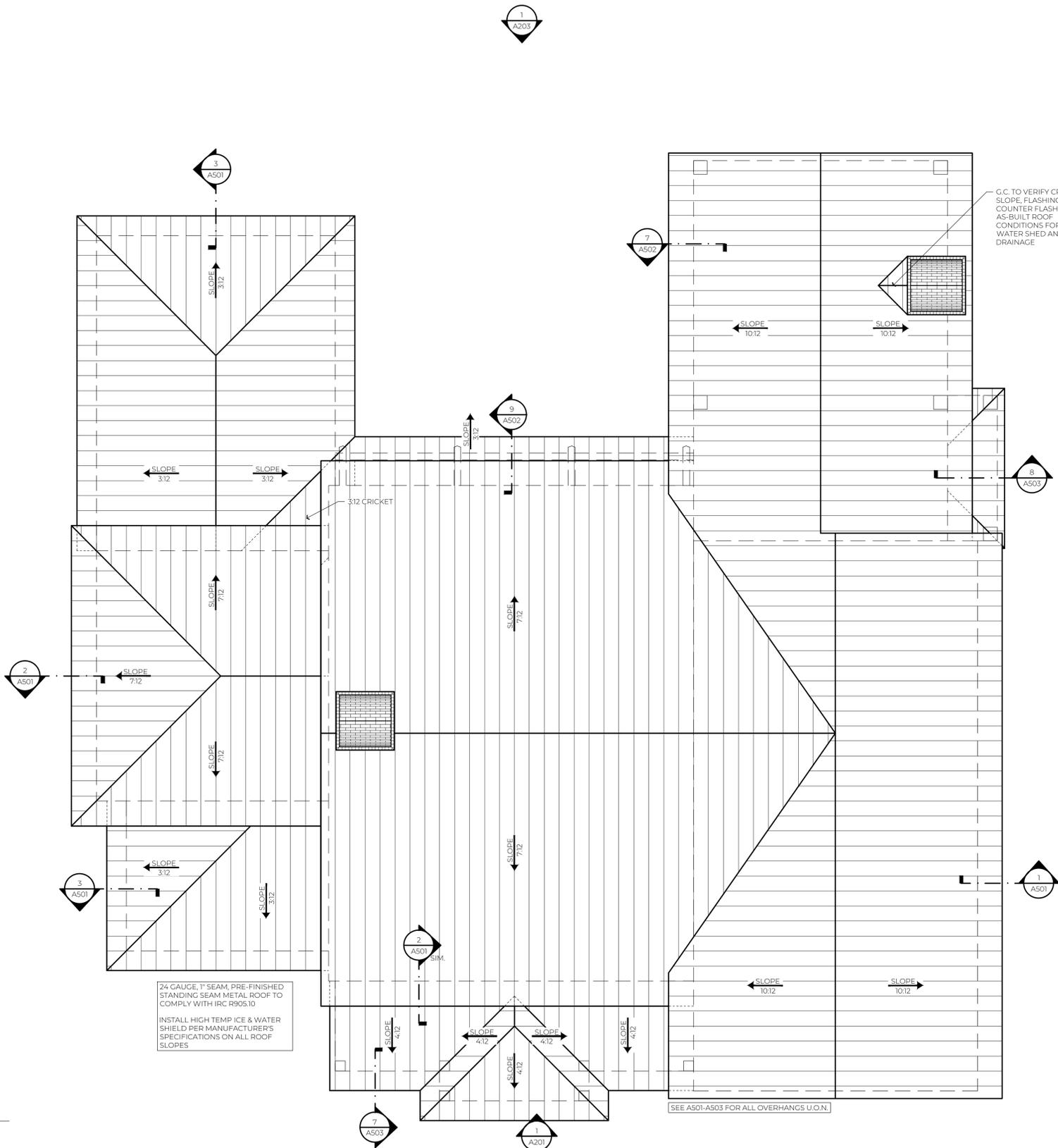
REVISIONS

PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025

SHEET

A105

ROOF PLAN



1 A105 ROOF PLAN  
1/4" = 1'-0"





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LYDIA R. DEPAUW  
Bluffton, SC  
No. 11904

STATE OF SOUTH CAROLINA  
REGISTERED ARCHITECT  
DEPAUW ARCHITECTS LLC  
Bluffton, SC  
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1 FRONT ELEVATION  
A201 1/4" = 1'-0"

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BLUFFTON, SC 29910

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO.	2503
CONTACT	LRD
DATE	12.02.2025

SHEET

A201  
EXTERIOR ELEVATIONS



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1 RIGHT ELEVATION  
A202 1/4" = 1'-0"

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REVISIONS


PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025

SHEET

A202

EXTERIOR ELEVATIONS



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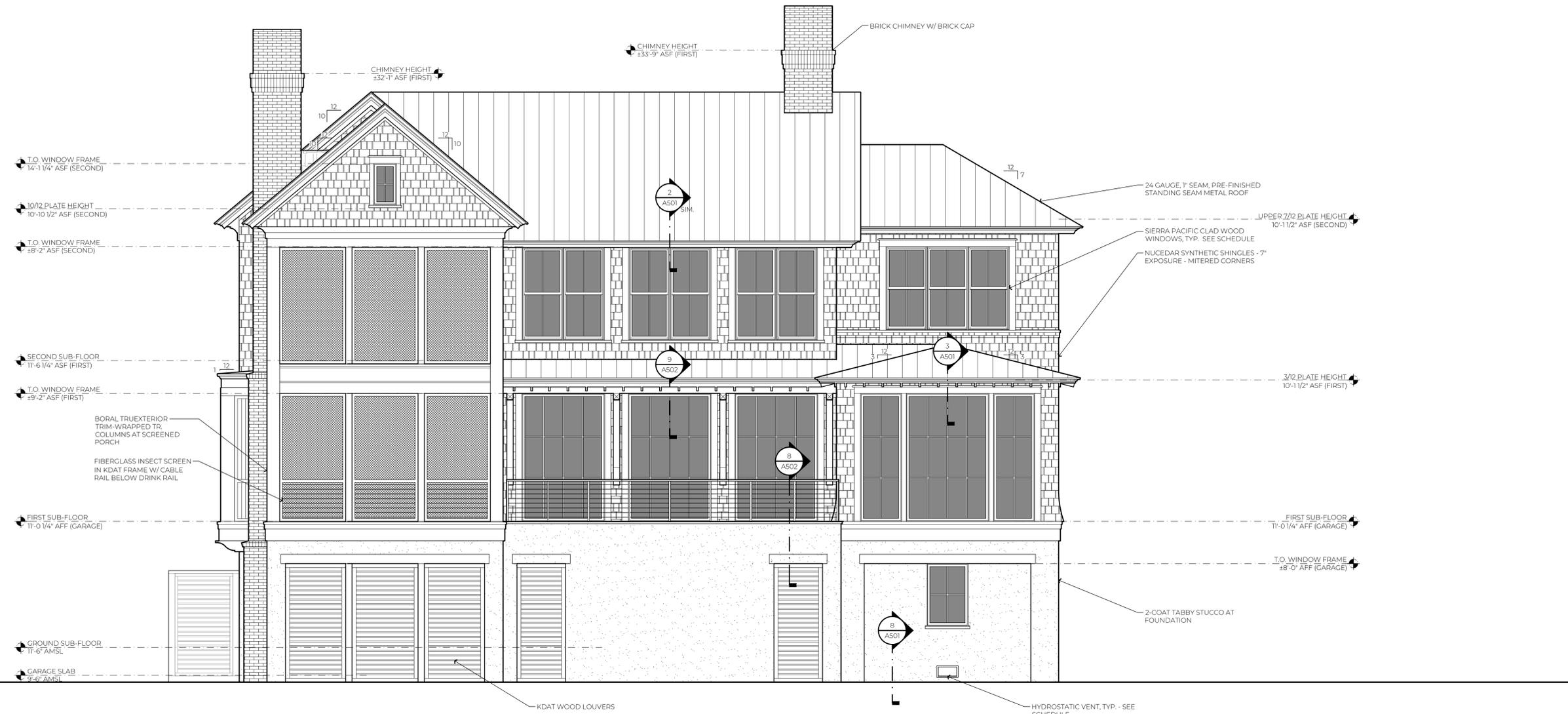
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1 REAR ELEVATION  
A203 1/4" = 1'-0"

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REVISIONS

NO.	DESCRIPTION

PROJECT NO. 2503  
CONTACT LRD  
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SHEET

A203

EXTERIOR ELEVATIONS



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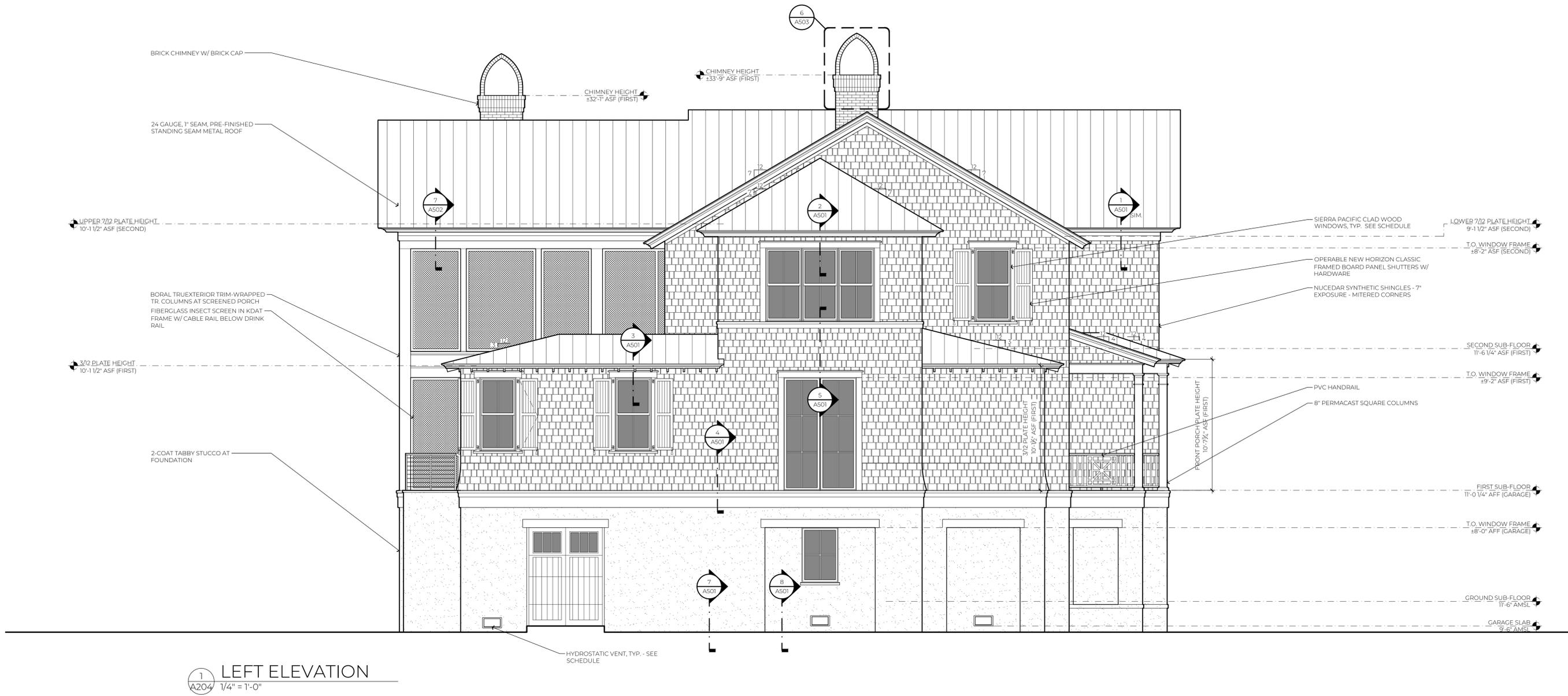
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SHEET

A204

EXTERIOR ELEVATIONS

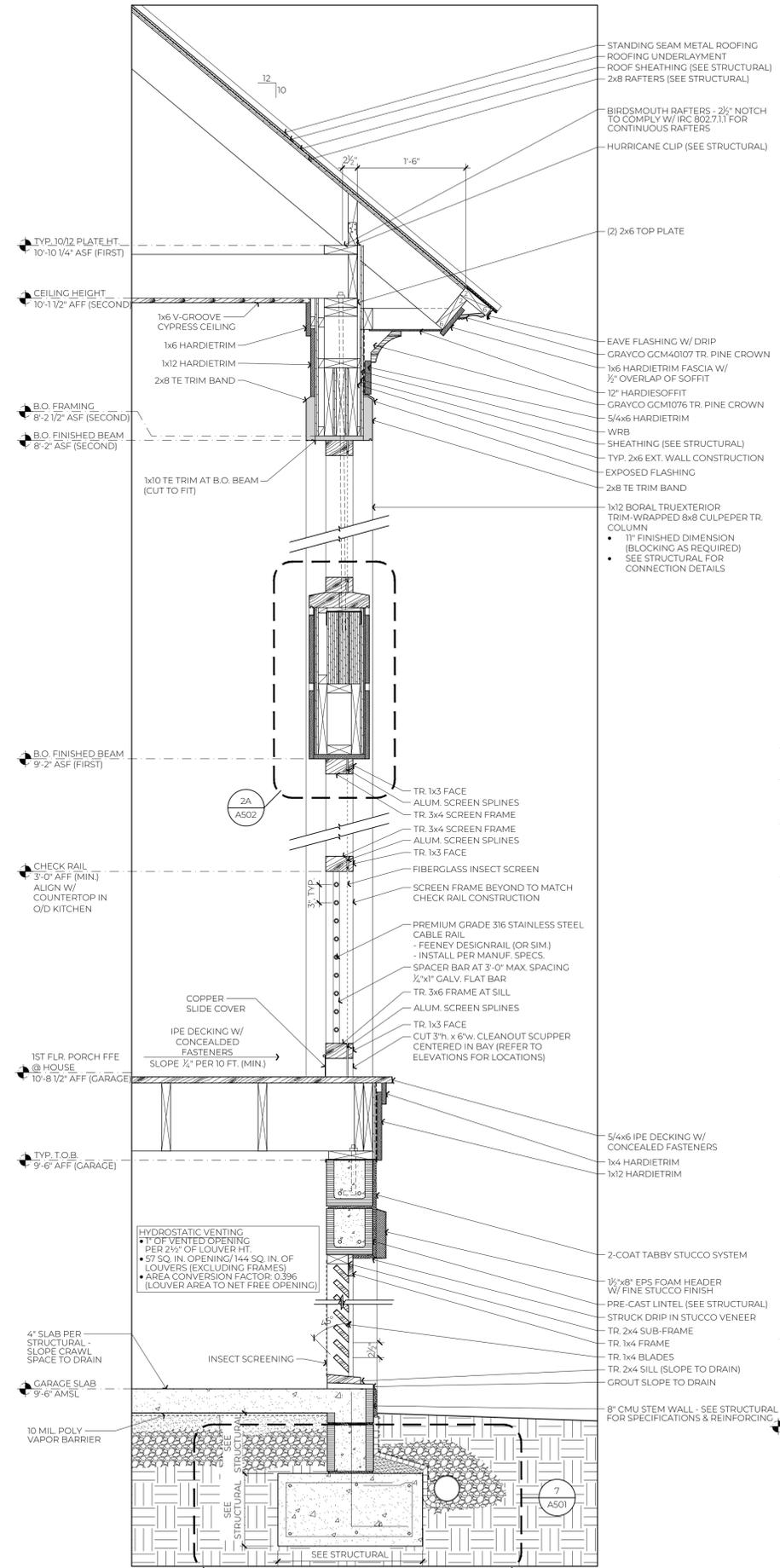


1 LEFT ELEVATION  
A204 1/4" = 1'-0"

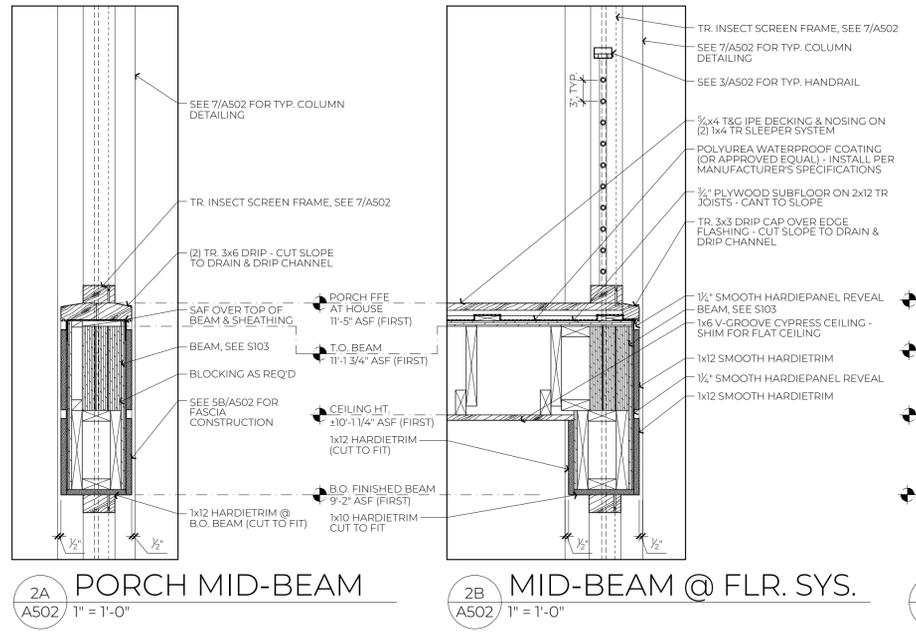


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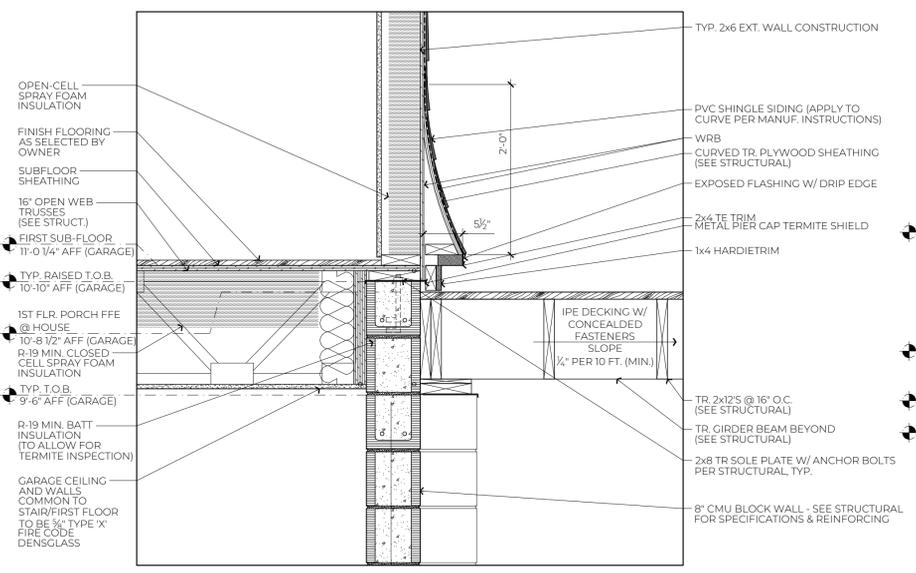


7 SCREENED PORCH SECTION  
A502 1" = 1'-0"

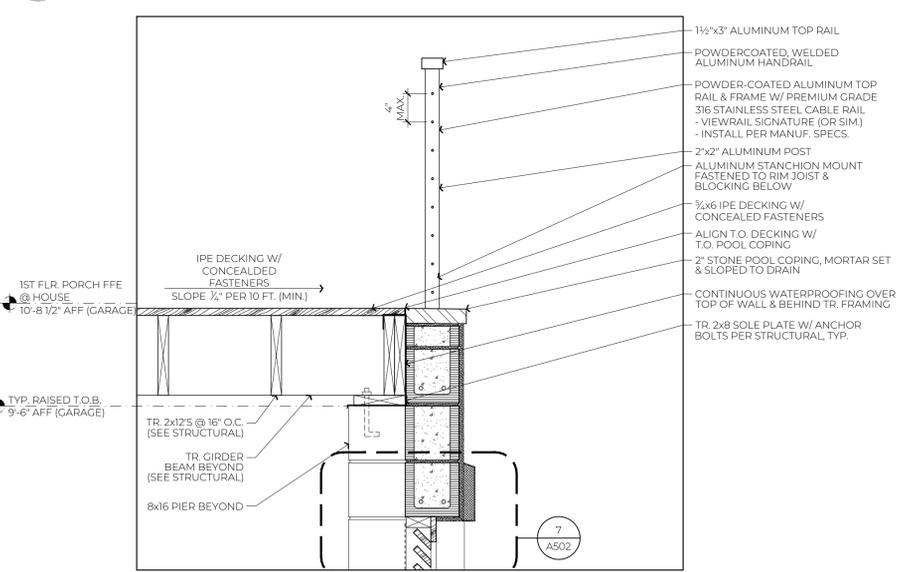


2A PORCH MID-BEAM  
A502 1" = 1'-0"

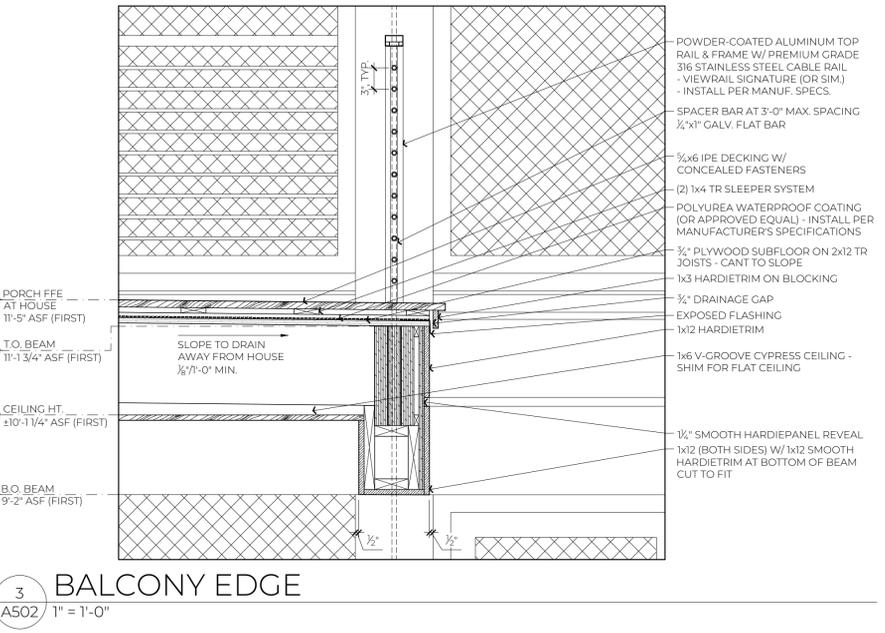
2B MID-BEAM @ FLR. SYS.  
A502 1" = 1'-0"



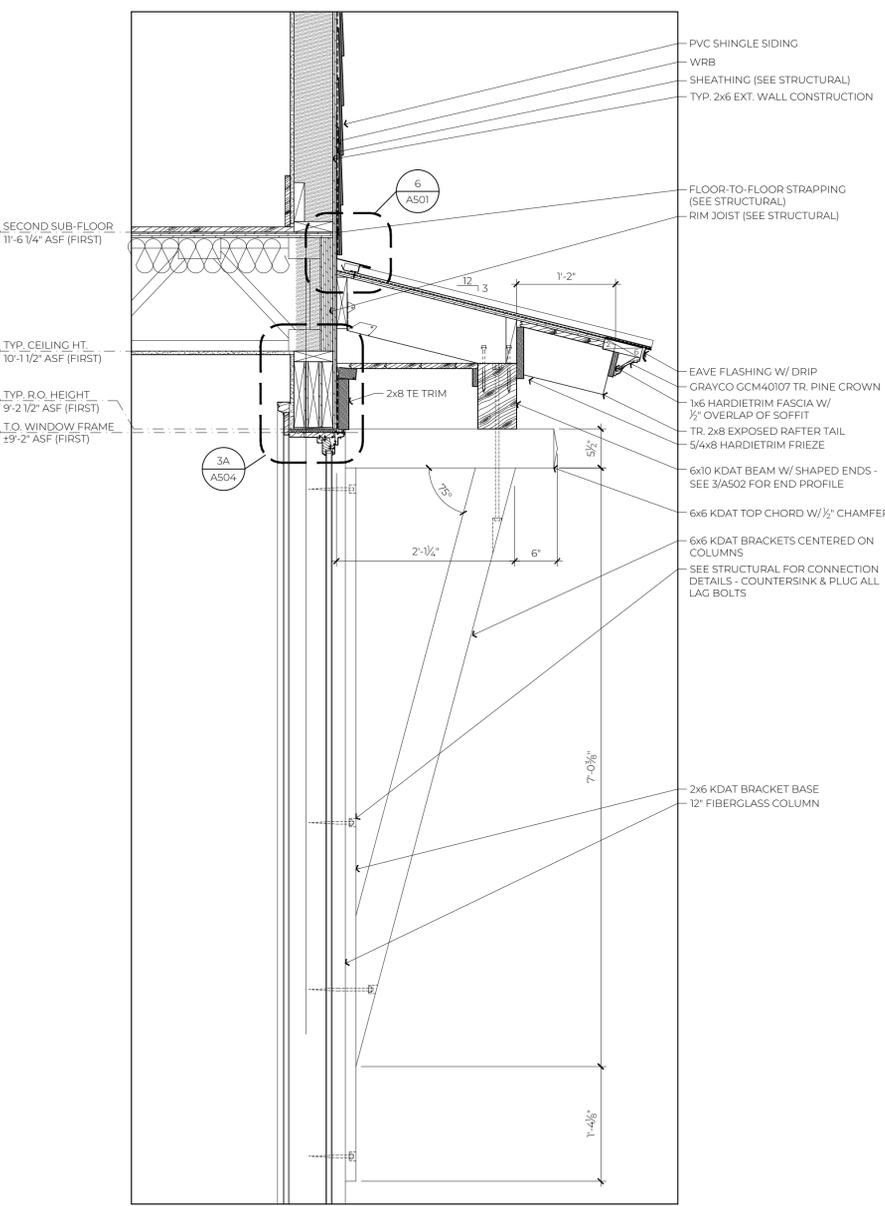
4 HOUSE FOUNDATION @ PORCHES & TERRACE  
A502 1" = 1'-0"



8 POOL TERRACE SECTION  
A502 1" = 1'-0"



3 BALCONY EDGE  
A502 1" = 1'-0"



9 GREAT ROOM BRACKETS  
A502 1" = 1'-0"

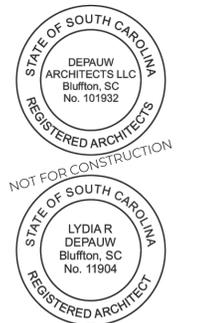


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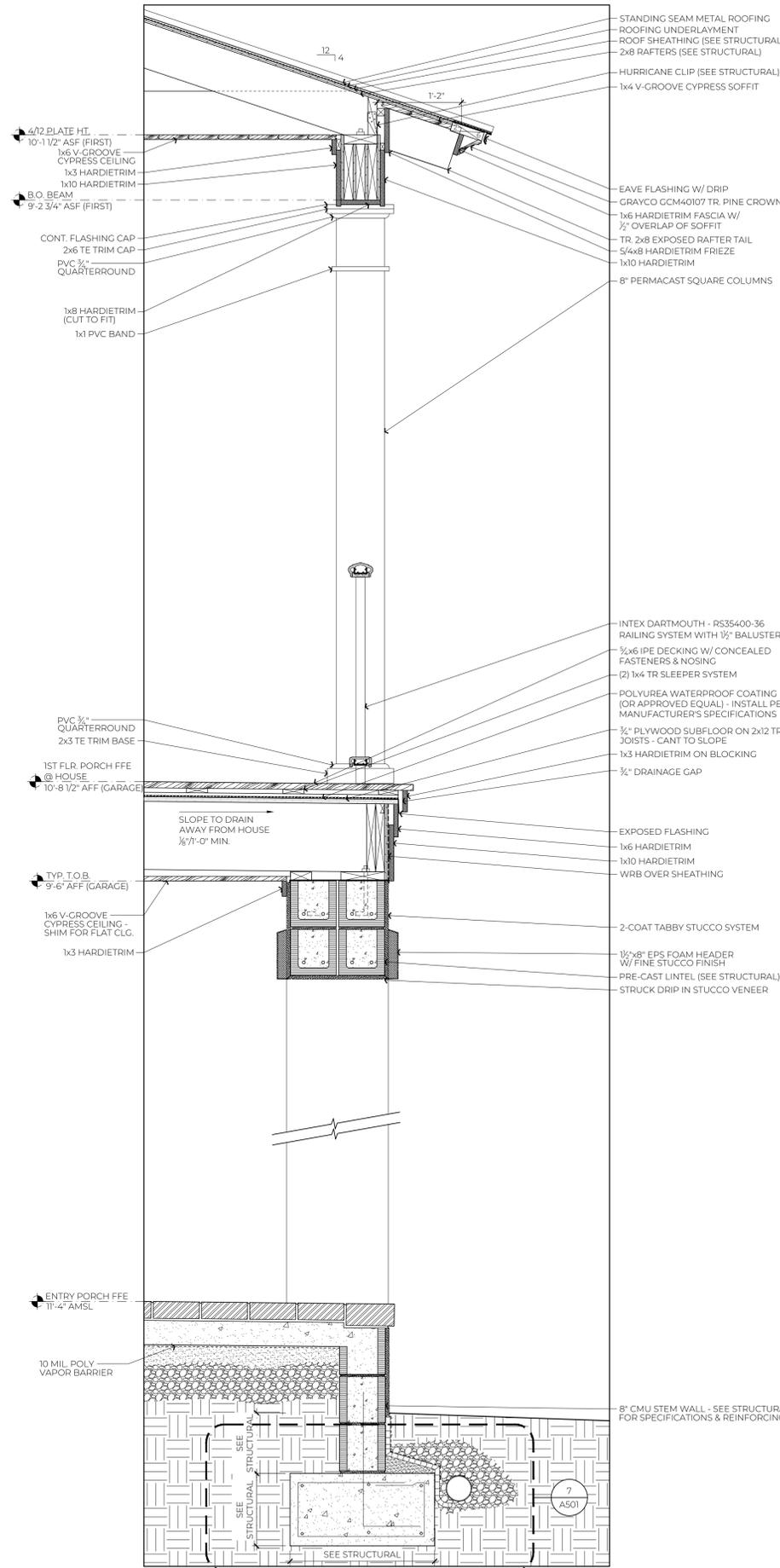
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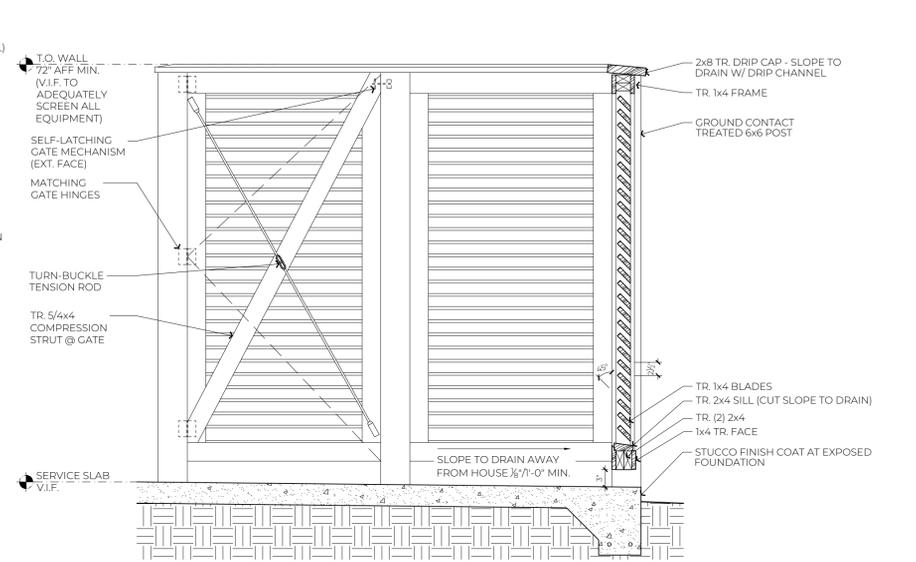
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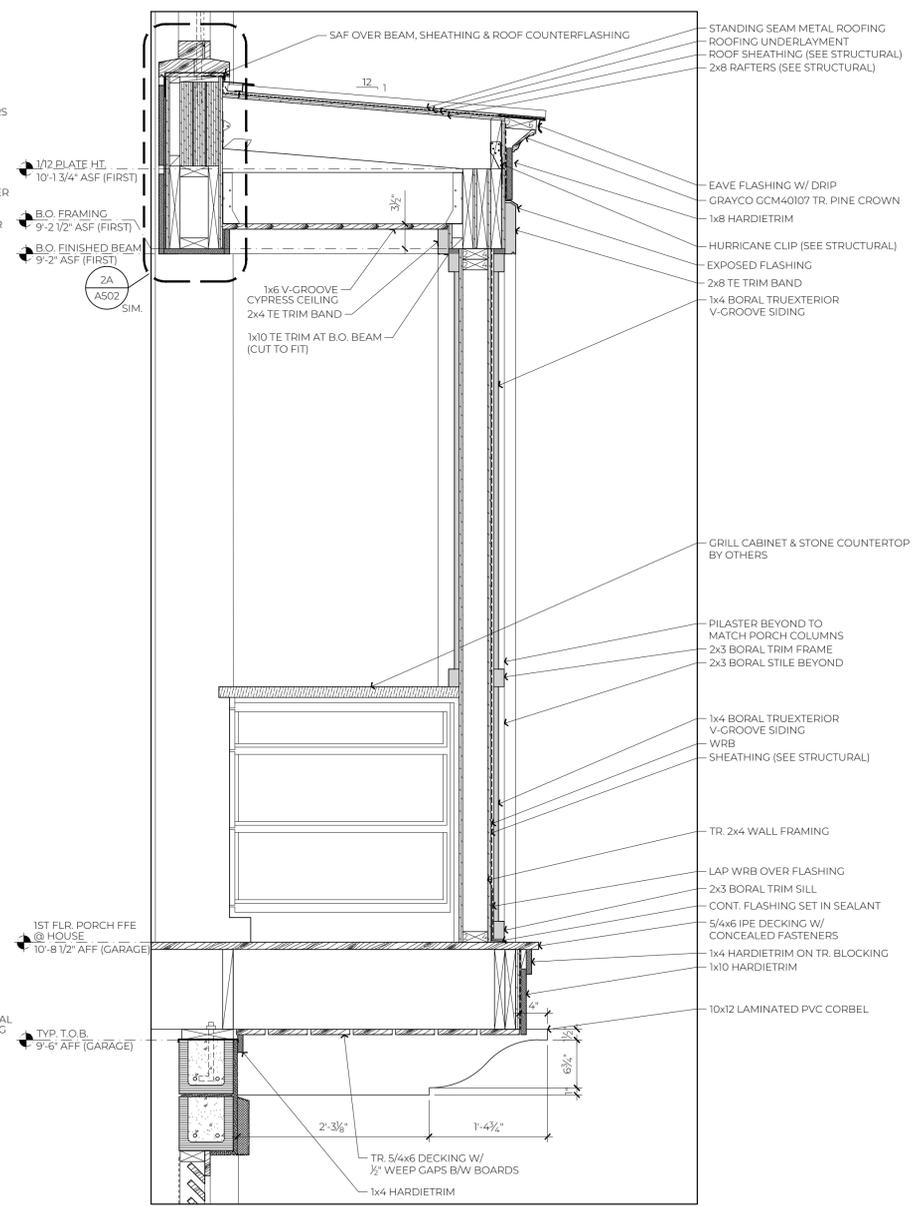
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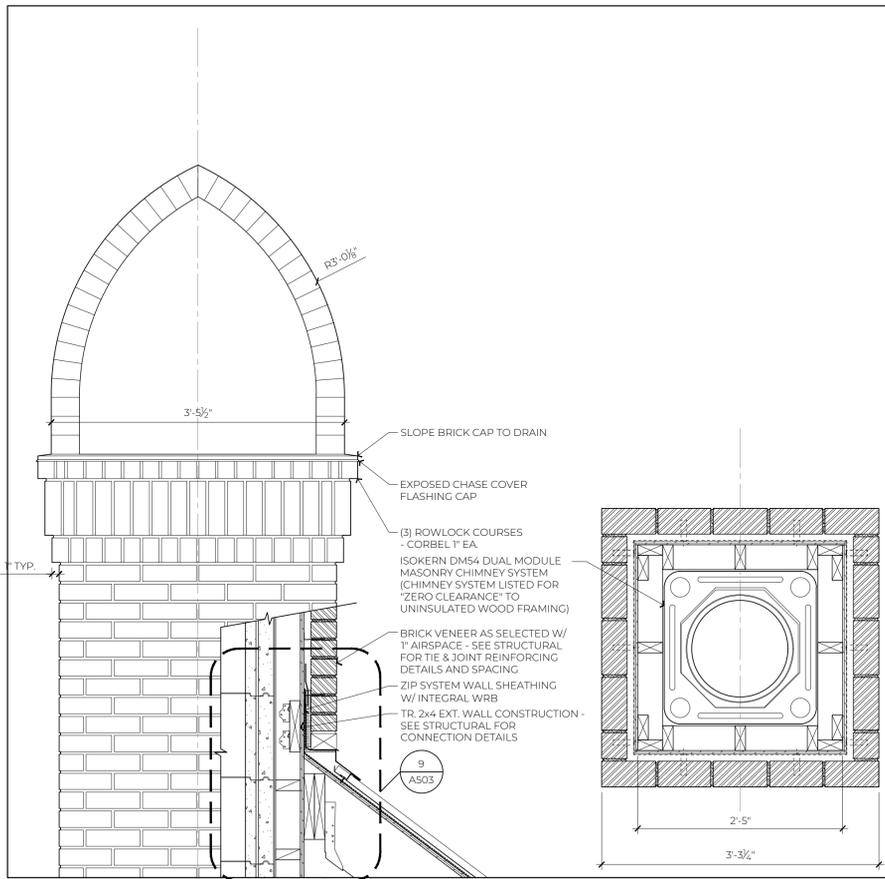
7 FRONT PORCH SECTION  
A503 1" = 1'-0"



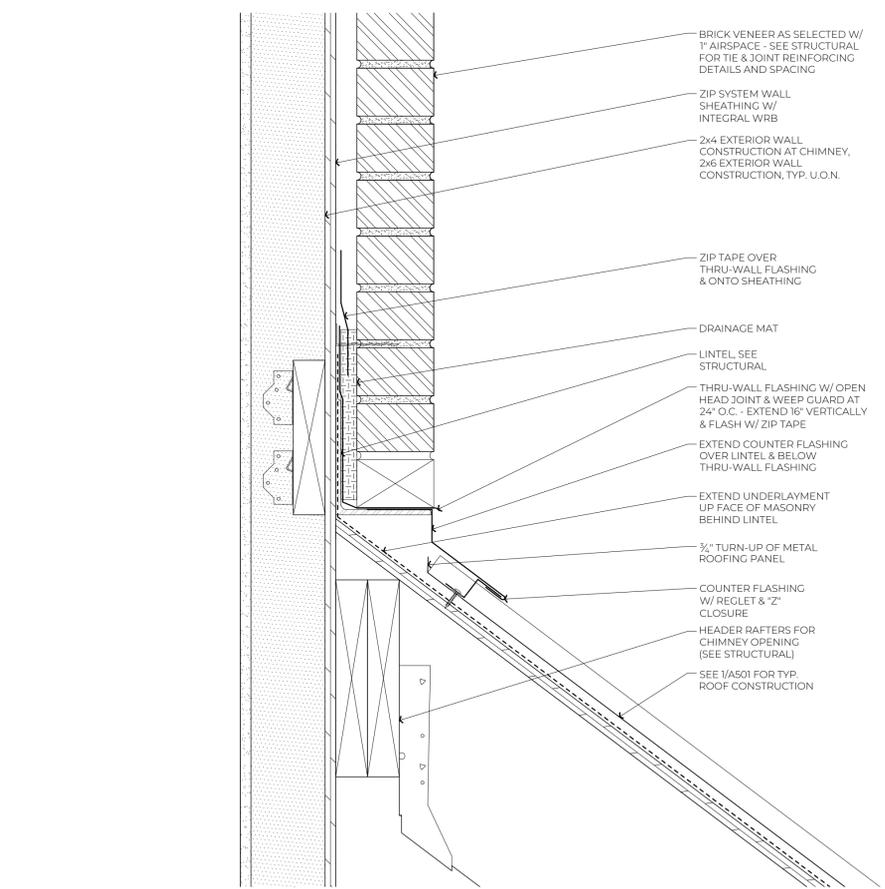
2 SERVICE ENCLOSURE  
A503 3/4" = 1'-0"



8 CANTILEVERED GRILL PORCH  
A503 1" = 1'-0"



6 CHIMNEY  
A503 1" = 1'-0"



9 ROOF FLASHING @ CHIMNEY  
A503 3" = 1'-0"

EDC LOT 407  
LOT 407, #4 HONORS ROW  
COLLETON RIVER  
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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025  
SHEET

A503

DETAILED SECTIONS



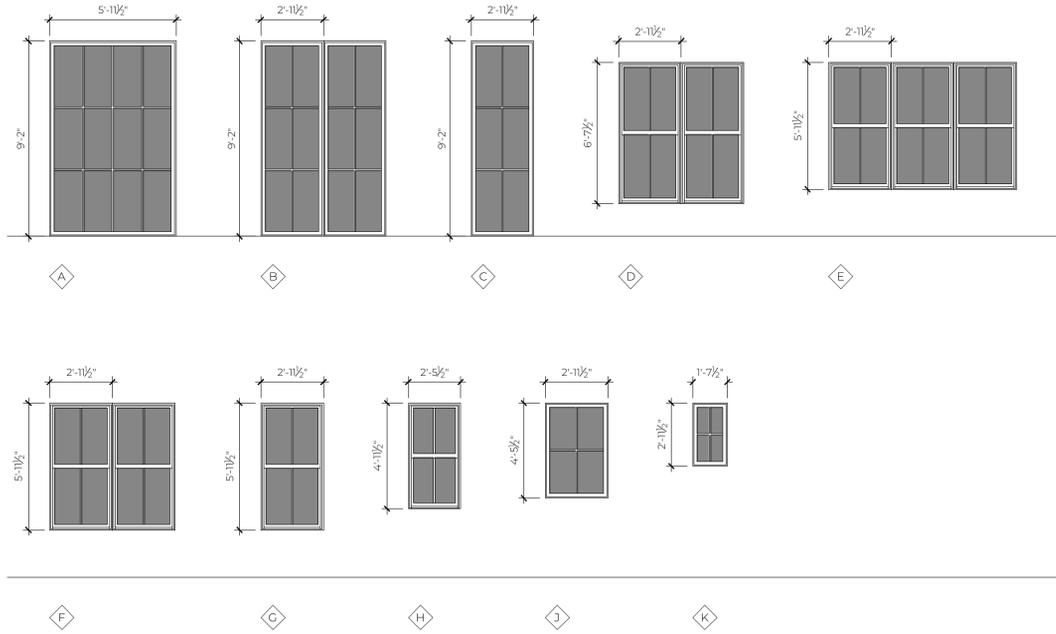
**WINDOW SCHEDULE**

MARK	TYPE	LABEL	T.O. FRAME HEIGHT (SEE NOTE 2)	EXTERIOR MATERIAL	EXTERIOR FINISH	NOTES
A	DIRECT GLAZE	5'-11 1/2" x 9'-2" T	±9'-2"	ALUMINUM CLAD	T.B.D.	
B	DIRECT GLAZE	2'-11 1/2" x 9'-2" T 2W	±9'-2"	ALUMINUM CLAD	T.B.D.	
C	DIRECT GLAZE	2'-11 1/2" x 9'-2" T	±9'-2"	ALUMINUM CLAD	T.B.D.	
D	DOUBLE HUNG	C-H3DH-36x80 2W	±8'-2"	ALUMINUM CLAD	T.B.D.	
E	DOUBLE HUNG	C-H3DH-32x72 3W	VARIABLES	ALUMINUM CLAD	T.B.D.	
F	DOUBLE HUNG	C-H3DH-32x72 2W	±8'-2"	ALUMINUM CLAD	T.B.D.	
G	DOUBLE HUNG	C-H3DH-32x72	VARIABLES	ALUMINUM CLAD	T.B.D.	
H	DOUBLE HUNG	C-H3DH-30x60	±8'-2"	ALUMINUM CLAD	T.B.D.	
J	CASEMENT	C-H3CS-36x54	VARIABLES	ALUMINUM CLAD	T.B.D.	
K	FIXED CASEMENT	C-H3FCS-20x36	±14'-1 1/2"	ALUMINUM CLAD	T.B.D.	

- NOTE 1: SIZES ARE BASED ON SIERRA PACIFIC FEELSAFE H3. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: G.C. TO COORDINATE ALL WINDOW/DOOR HEAD JAMB HEIGHTS WITH EXTERIOR DOOR MANUFACTURER & INSTALLATION INSTRUCTIONS TO ENSURE BOTTOM OF ALL INT/EXT. WINDOW & DOOR HEAD JAMBS ALIGN WHERE APPLICABLE.
- NOTE 3: ALL WINDOWS TO HAVE 3/8" PUTTY SIMULATED DIVIDED LITES WITH SPACER BARS (SDL) AS SHOWN - SEE ELEVATIONS.
- NOTE 4: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112.
- NOTE 5: PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.
- NOTE 6: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 7: PROVIDE EGRESS AS REQUIRED TO MEET IRC §R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 8: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC §R308 FOR WINDOW GLAZING.
- NOTE 9: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION R301.2.1.2 OF THE IRC. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

**WINDOW ELEVATIONS**

FRAME SIZES SHOWN



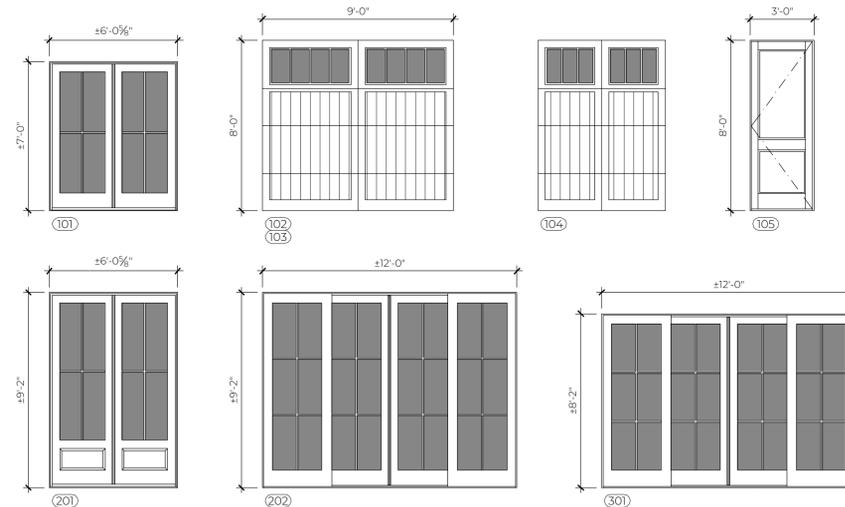
**DOOR SCHEDULE**

DOOR NO.	NOMINAL SIZE (SEE NOTES)			LABEL	TYPE	MATERIAL	REMARKS
	W	H	Th				
101	(2) 3'-0"	7'-0"	2 1/2"		INSWING FRENCH DOORS	MAHOGANY	SEE ELEVATION, PROVIDE MATCHING MAHOGANY FRAME, STOPS & INTERIOR CASING & TRIM
102	9'-0"	8'-0"	2"	NOTE 5	OVERHEAD GARAGE DOOR	COMPOSITE	SEE ELEVATION
103	9'-0"	8'-0"	2"	NOTE 5	OVERHEAD GARAGE DOOR	COMPOSITE	SEE ELEVATION
104	6'-0"	8'-0"	2"	NOTE 5	OVERHEAD GARAGE DOOR	COMPOSITE	SEE ELEVATION
105	3'-0"	8'-0"	1 1/2"		OUTSWING DOOR	FIBERGLASS	SEE ELEVATION
106	3'-0"	7'-0"	1 1/2"	NOTE 6	PANEL	MDF	
107	3'-0"	7'-0"	1 1/2"		PANEL	FIBERGLASS	COMPOSITE JAMBS - 20 MIN. FIRE-RATED
108	3'-0"	7'-0"	1 1/2"		PANEL	FIBERGLASS	COMPOSITE JAMBS - 20 MIN. FIRE-RATED
109	3'-0"	7'-0"	1 1/2"		PANEL	FIBERGLASS	COMPOSITE JAMBS - 20 MIN. FIRE-RATED
110	3'-0"	7'-0"	1 1/2"	NOTE 6	PANEL	MDF	
201	(2) 3'-0"	9'-0"	2 1/2"		INSWING FRENCH DOORS	MAHOGANY	SEE ELEVATION, PROVIDE MATCHING MAHOGANY FRAME, STOPS & INTERIOR CASING & TRIM
202	(4) 3'-0"	9'-0"	1 1/2"		SLIDING FRENCH DOORS	MAHOGANY	SEE ELEVATION, PROVIDE MATCHING MAHOGANY FRAME, STOPS & INTERIOR CASING & TRIM
203	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
204	2'-8"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
205	2'-8"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
206	2'-8"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
207	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
208	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
209	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
210	2'-10"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
211	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
301	(4) 3'-0"	8'-0"	1 1/2"		SLIDING FRENCH DOORS	MAHOGANY	SEE ELEVATION, PROVIDE MATCHING MAHOGANY FRAME, STOPS & INTERIOR CASING & TRIM
302	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
303	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
304	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
305	(2) 2'-0"	8'-0"	1 1/2"	NOTE 6	PANEL, PAIR	MDF	
306	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
307	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
308	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
309	(2) 2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, PAIR	MDF	
310	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
311	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
312	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
313	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
314	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
315	2'-6"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
316	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	

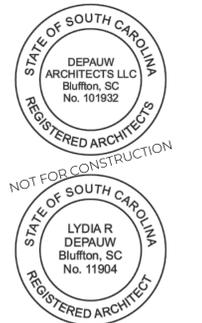
- NOTE 1: EXTERIOR WOOD CLAD DOOR SIZES ARE BASED ON SIERRA PACIFIC FEELSAFE UNLESS OTHERWISE NOTED. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: DOOR HEIGHTS NOTED ARE FRAME SIZE FOR EXTERIOR DOORS & PANEL SIZE FOR INTERIOR DOORS. G.C. TO COORDINATE ALL WINDOW/DOOR HEAD JAMB HEIGHTS WITH EXTERIOR DOOR MANUFACTURER & INSTALLATION INSTRUCTIONS TO ENSURE BOTTOM OF ALL INT/EXT. WINDOW & DOOR HEAD JAMBS ALIGN WHERE APPLICABLE.
- NOTE 3: ALL DOORS TO HAVE 3/8" PUTTY SIMULATED DIVIDED LITES WITH SPACER BARS (SDL) AS SHOWN - SEE ELEVATIONS.
- NOTE 4: NOT USED
- NOTE 5: ALL OVERHEAD GARAGE DOORS TO BE CLOPAY CANYON RIDGE CARRIAGE HOUSE, DESIGN 11, REC13 OR 14 AS SHOWN; CLEAR GLASS
- NOTE 6: ALL INTERIOR DOORS TO BE ECCO STILE & RAIL. G.C. TO ADJUST HEIGHT AS REQUIRED TO ALIGN T.O. HEAD JAMB WITH ALL APPLICABLE EXTERIOR WINDOW AND DOOR HEAD JAMBS.
- NOTE 7: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112.
- NOTE 8: PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.
- NOTE 9: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 10: PROVIDE EGRESS AS REQUIRED TO MEET IRC §R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 11: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC §R308 FOR DOOR GLAZING.
- NOTE 12: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH IRC SECTION R301.2.1.2. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

**DOOR ELEVATIONS**

FRAME SIZES SHOWN



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EDC LOT 407  
LOT 407, #4 HONORS ROW  
COLLETON RIVER  
BLUFFTON, SC 29910

REVISIONS


PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025

SHEET

A601

DOOR & WINDOW SCHEDULES

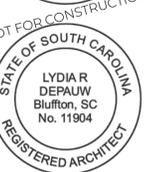


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EDC LOT 407  
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COLLETON RIVER  
BLUFFTON, SC 29910

REVISIONS


PROJECT NO. 2503  
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SHEET

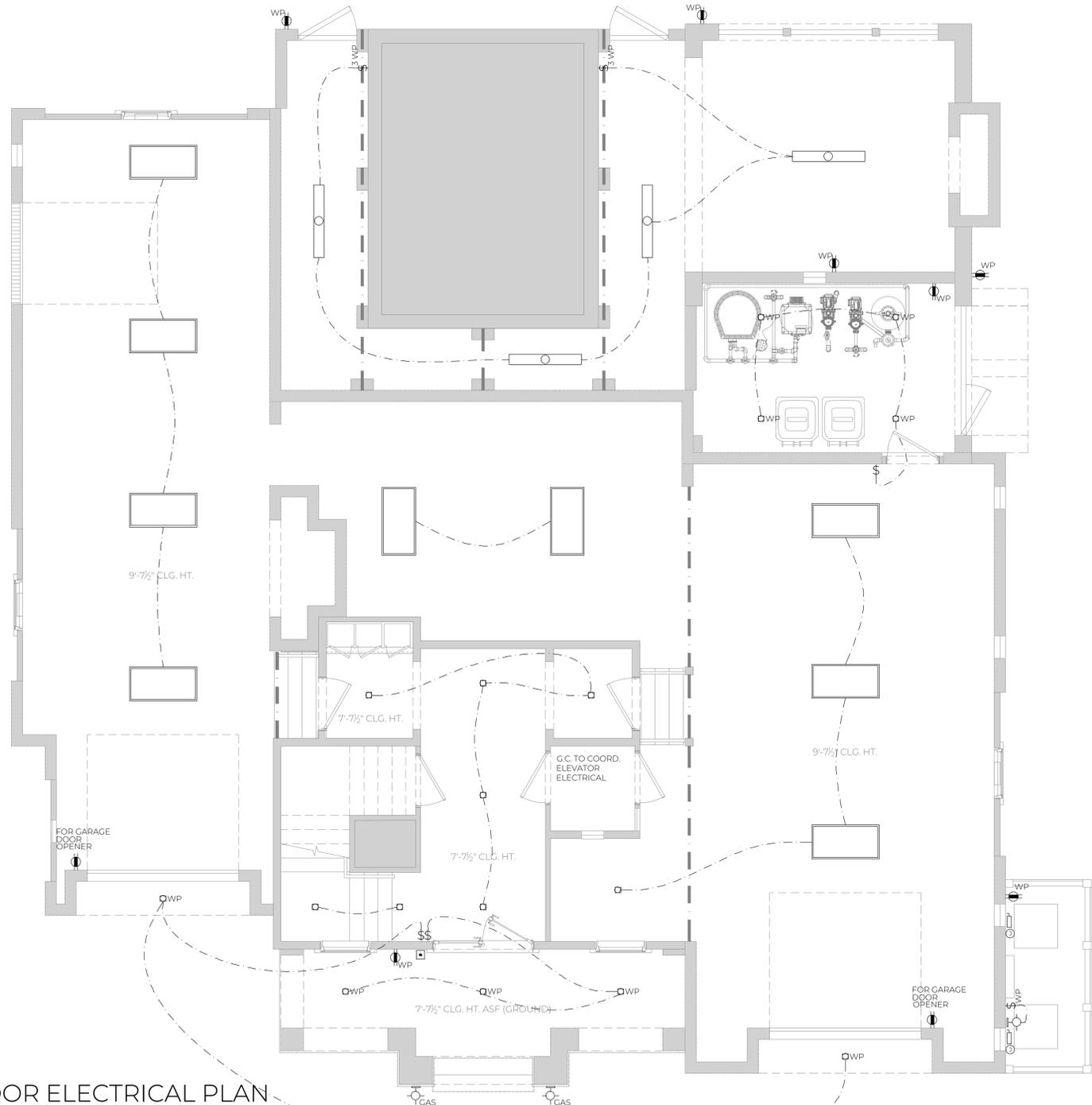
AE101  
GROUND FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE
	QUADRUPLX RECEPTACLE
	SWITCHED RECEPTACLE
	220 V RECEPTACLE
	FLOOR MOUNTED OUTLET
	GFCI RECEPTACLE
	GFCI RECEPTACLE MOUNTED ABOVE COUNTER
	GFCI WEATHERPROOF RECEPTACLE
	DATA/PHONE
	CABLE TV JACK
	RECESSED CAN LIGHT
	DIRECTIONAL RECESSED CAN LIGHT
	RECESSED SEALED SHOWER FIXTURE
	PIN LIGHT
	WALL-MOUNTED FIXTURE
	WALL-MOUNTED VANITY FIXTURE
	JUNCTION BOX
	STEP LIGHT
	2x4 FLUORESCENT
	2x2 FLUORESCENT
	4' LED ENCLOSED & GASKETED INDUSTRIAL FIXTURE
	2x4 FLUORESCENT STRIP LIGHT
	UNDER CABINET OR COVE LIGHT
	TOE-KICK LIGHTING
	EXHAUST FAN
	FAN/LIGHT COMBINATION
	CEILING FAN
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	JAMB SWITCH
	SWITCH IN WEATHERPROOF BOX
	SWITCH W/ DIMMER CONTROL
	SWITCH W/ INDICATOR LIGHT
	LUTRON RADIO RA KEYPAD SWITCH
	ELECTRICAL METER
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOORBELL PUSH BUTTON
	DOORBELL CHIME

ELECTRICAL NOTES

1. ALL FIXTURES BY G.C./OWNER.
2. ALL OUTLETS TO BE INSTALLED HORIZONTALLY, CENTERED ON WINDOWS, AND IN BASEBOARDS WHEREVER POSSIBLE.
3. ALL SWITCHES TO BE INSTALLED AT 42" ASF UNLESS OTHERWISE NOTED. G.C. TO COORD. SWITCH HEIGHT AT COUNTERTOP LOCATIONS TO COORDINATE WITH FINAL BACK SPLASH SELECTIONS.
4. G.C./OWNER TO SELECT SWITCH AND PLATE STYLES.
5. G.C./OWNER TO COORDINATE DIMMER SWITCH LOCATIONS.
6. G.C./OWNER TO COORDINATE LOCATION AND HEIGHT OF ALL WALL-MOUNTED JUNCTION BOXES.
7. ALL APPLIANCE AND CABINERY LOCATIONS ARE APPROXIMATE. G.C./OWNER TO COORDINATE FINAL DESIGN, LOCATION, AND PLACEMENT. G.C./OWNER TO COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS. POWER REQUIREMENTS TO MEET ALL APPLICABLE BUILDING CODES.
8. G.C./OWNER TO DETERMINE THE EXTENT OF, AND COORDINATE THE INSTALLATION OF, ANY/ALL SMART HOUSE TECHNOLOGY.
9. G.C./OWNER TO COORDINATE ALL TELEPHONE, COMMUNICATIONS, AV, AND SPEAKER OUTLET LOCATIONS AND EQUIPMENT INSTALLATION.
10. G.C./OWNER TO DETERMINE AND COORDINATE ALL LANDSCAPE LIGHTING WITH LANDSCAPE ARCHITECT IN COMPLIANCE WITH THE DRB.
11. G.C./OWNER TO DETERMINE AND COORDINATE FINAL LOCATION OF IN-GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
12. G.C./OWNER TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RINNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACKUP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
13. G.C./OWNER TO DETERMINE FINAL HVAC ZONING REQUIREMENTS AND DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
14. G.C./OWNER TO DETERMINE AND COORDINATE IF GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND/OR SURGE PROTECTION IS TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
15. G.C. TO VERIFY SIZING OF ELECTRICAL SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH G.C./OWNER IN FIELD.
16. G.C./OWNER TO VERIFY ALL SWITCH AND POWER LOCATIONS IN THE FIELD AND VERIFY THAT THE POWER AND LIGHTING DISTRIBUTION COMPLIES WITH IRC E3901-E3903.
17. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC E3902.16.
18. G.C./OWNER TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER IRC M305.1.3.1.
19. G.C./OWNER TO COORDINATE LOCATIONS & INSTALLATION OF SMOKE DETECTORS AS REQUIRED PER IRC R314.
20. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO IRC E3607-E3611.
21. NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER IRC N104.1.
22. ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE THE DESIGN FLOOD ELEVATION PER IRC R322.1.6.



SERVICE YARD WALL IS FOR VISUAL SCREENING ONLY - G.C. TO ENSURE PROPER VENTILATION FOR ALL EQUIPMENT

ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE 11'-0" AMSL PER IRC R322.1.6

G.C. TO DETERMINE REQUIREMENTS AND LOCATION OF FIBER OPTIC HUB - COMPLY WITH DRB STANDARDS

G.C. TO COORDINATE HVAC ELECTRICAL AND DISCONNECT REQUIREMENTS

1 GROUND FLOOR ELECTRICAL PLAN

AE101 1/4" = 1'-0"





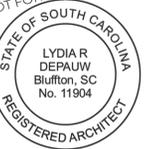


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LOT 407, #4 HONORS ROW  
COLLETON RIVER  
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2503  
CONTACT LRD  
DATE 12.02.2025

SHEET

AE103

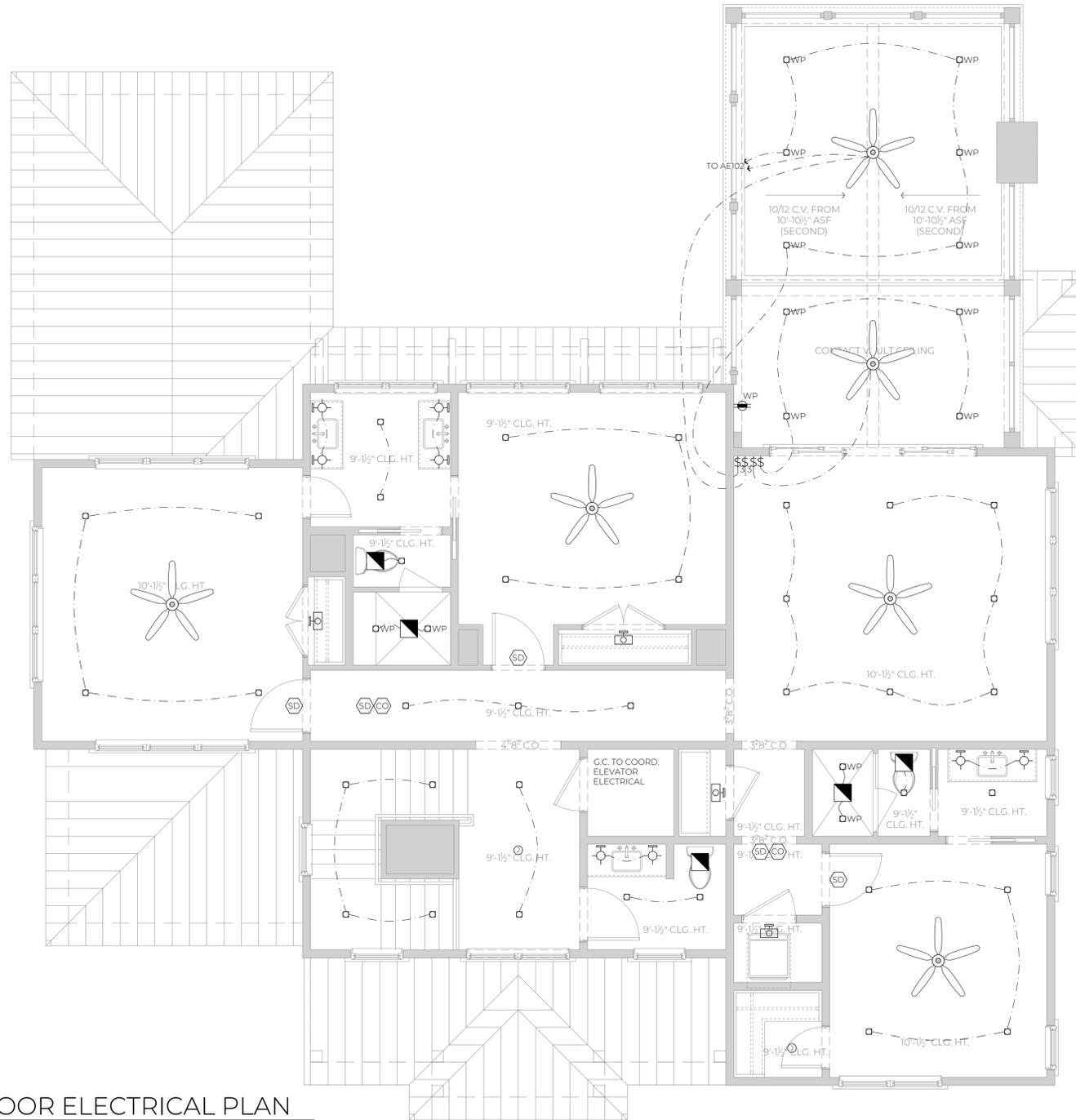
SECOND FLOOR  
ELECTRICAL PLAN

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE
	QUADRUPLEX RECEPTACLE
	SWITCHED RECEPTACLE
	220 V RECEPTACLE
	FLOOR MOUNTED OUTLET
	GFCI RECEPTACLE
	GFCI RECEPTACLE MOUNTED ABOVE COUNTER
	GFCI WEATHERPROOF RECEPTACLE
	DATA/PHONE
	CABLE TV JACK
	RECESSED CAN LIGHT
	DIRECTIONAL RECESSED CAN LIGHT
	RECESSED SEALED SHOWER FIXTURE
	PIN LIGHT
	WALL-MOUNTED FIXTURE
	WALL-MOUNTED VANITY FIXTURE
	JUNCTION BOX
	STEP LIGHT
	2x4 FLUORESCENT
	2x2 FLUORESCENT
	4' LED ENCLOSED & GASKETED INDUSTRIAL FIXTURE
	24' FLUORESCENT STRIP LIGHT
	UNDER CABINET OR COVE LIGHT
	TOE-KICK LIGHTING
	EXHAUST FAN
	FAN/LIGHT COMBINATION
	CEILING FAN
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	JAMB SWITCH
	SWITCH IN WEATHERPROOF BOX
	SWITCH W/ DIMMER CONTROL
	SWITCH W/ INDICATOR LIGHT
	LUTRON RADIO RA KEYPAD SWITCH
	ELECTRICAL METER
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOORBELL PUSH BUTTON
	DOORBELL CHIME

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- ALL GROUNDING POINTS AVAILABLE TO CONFORM TO IRC E3607-E3611.
- NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER IRC N104.1.
- ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE THE DESIGN FLOOD ELEVATION PER IRC R322.1.6.



1 SECOND FLOOR ELECTRICAL PLAN  
AE103 1/4" = 1'-0"

