

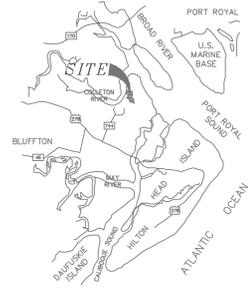
EDC PARTNERS

LOT 405 HONORS ROW - COLLETON RIVER - BLUFFTON, SC 29910

ABBREVIATIONS:

AB	ANCHOR BOLT	LAM	LAMINATE
ABV	ABOVE	LL	LIVE LOAD
AFF	ABOVE FINISH FLOOR	LT	LIGHT
ASF	ABOVE SUB-FLOOR	LIN	LINEN
A/C	AIR CONDITIONER	MA	MASONRY
AHU	AIR HANDLING UNIT	MAS	MASONRY
ALUM	ALUMINUM	MAX	MAXIMUM
AMSL	ABOVE MEAN SEA LEVEL	MECH	MECHANICAL
APPROX	APPROXIMATE	MED	MEDIUM
BD	BOARD	MFR	MANUFACTURER
BF	BI-FOLD	MID	MIDDLE
BLKG	BLOCKING	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MUL	MULLION
BOD	BASIS OF DESIGN	N/A	NOT APPLICABLE
BRG	BEARING	N.I.C.	NOT IN CONTRACT
BTW	BETWEEN	NTS	NOT TO SCALE
CAB	CABINET	OC	ON CENTER
CANT	CANTILEVER	OD	OUTSIDE DIMENSION
CEN	CENTER	OH	OVERHANG
CIP	CAST-IN-PLACE	OPNG	OPENING
CJ	CEILING JOIST	OSB	ORIENTED STRAND BOARD
CL	CENTERLINE	PAF	POWER-ACTUATED FASTENER
CLOS	CLOSET	PDE	POP-UP DRAIN EMITTER
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CM	CASEMENT	PL	PLATE
CO	CASED OPENING	PNL	PANEL
COL	COLUMN	PNT	PAINT
CONC	CONCRETE	PMEJ	PRE-MOULDED EXPANSION JOINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RADIUS
DN	DOWN	R & S	ROD & SHELF
DR	DOOR	RAG	RETURN AIR GRILL
DW	DISHWASHER	REF	REFRIGERATOR
DWG	DRAWING	REQ'D	REQUIRED
EA	EACH	RM	ROOM
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SAF	SELF-ADHERED FLASHING
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SECT	SECTION
EXT	EXISTING	SF	SQUARE FEET
EXT	EXTERIOR	SH	SHELF
FD	FLOOR DRAIN	SIM	SIMILAR
FDN	FOUNDATION	SND	SANITARY NAPKIN DISPENSER
FDTN	FOUNDATION	SPEC	SPECIFICATION
FF	FINISH FLOOR	SF	SQUARE FEET
FFE	FINISH FLOOR ELEVATION	STD	STANDARD
FIN	FINISH	STL	STEEL
FIX	FIXTURE	STOR	STORAGE
FIXT	FIXTURE	SYS	SYSTEM
FLUOR	FLUORESCENT	T	TREAD
FLR	FLOOR	T.O.	TOP OF
FRZ	FREEZER	TR	TREATED
FRMG	FRAMING	T & G	TONGUE & GROOVE
FT	FEET	TEL	TELEPHONE
FTG	FOOTING	TEMP	TEMPORARY/TEMPERATURE
GA	GAUGE	THK	THICK
GALV	GALVANIZE	TV	TELEVISION
GL	GLASS	TPH	TOILET PAPER HOLDER
GYP	GYP SUM	TYP	TYPICAL
GWB	GYP SUM WALL BOARD	UC	UNDER-COUNTER
HB	HOSE BIBB	UNFIN	UNFINISHED
HDR	HEADER	U.O.N.	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL	U.O.N.	UNLESS OTHERWISE NOTED
HT	HEIGHT	VB	VAPOR BARRIER
I.D.	INSIDE DIMENSION	VER	VERIFY
IN	INCH	V.I.F.	VERIFY IN FIELD
INCL	INCLUDE	VERT	VERTICAL
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	W/D	WASHER-DRYER
JST	JOIST	WH	WATER HEATER
JNT	JOINT		
KS	KNEE SPACE		

VICINITY MAP | NTS



PROJECT TEAM:

DISCIPLINE	NAME	LICENSE:	PHONE NO:
ARCHITECT	DePAUW ARCHITECTS	101932	(843) 284-7848
LANDSCAPE			
STRUCTURAL			

BUILDING CODES:

APPLICABLE CODE:	2021 IRC W/ SC MODIFICATIONS
JURISDICTION:	BEAUFORT COUNTY
CONSTRUCTION TYPE:	V-B

FLOOR AREA CALCULATIONS:

MAIN HOUSE:

GROUND FLOOR:	
HEATED & COOLED:	335 SF
COVERED & ENCLOSED:	2,874 SF
FIRST FLOOR:	
HEATED & COOLED:	2,168 SF
COVERED & ENCLOSED:	1,018 SF
SECOND FLOOR	
HEATED & COOLED:	1,778 SF
COVERED & ENCLOSED:	275 SF
TOTAL:	
HEATED & COOLED:	4,281 SF
COVERED & ENCLOSED:	4,167 SF

NOTES:

NOTICE TO PERMITTING AUTHORITY & BUILDING OWNER REGARDING CONSTRUCTION ADMINISTRATION SERVICES:
THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SC CODE OF REGULATIONS CHAPTER 11-12.B(5).

ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

GENERAL NOTES:
THE FOLLOWING DOCUMENTS ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS.
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND THE DOWN REQUIREMENTS.
SEPARATE MECHANICAL, ELECTRICAL, AND/OR PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
SEPARATE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, PLANTING LAYOUTS, HARDSCAPE DETAILS AND OTHER RELATED SITE WORK REQUIREMENTS.
WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
THE FOLLOWING DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT AS DEFINED UNDER SECTION 102 OF THE COPYRIGHT ACT (TITLE 17 OF THE UNITED STATES CODE).

DIMENSION NOTES:
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, & FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N.

PLUMBING NOTES:
G.C. TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTORS PRIOR TO PLACING SLAB. G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FOUNDATION NOTES:
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS & REINFORCING, AND CONNECTION DETAILS.
SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.
UNLESS OTHERWISE NOTED BY STRUCTURAL ENGINEERING DOCUMENTS, THE FOUNDATION IS TO BE AS FOLLOWS:
TYPICAL SLAB ON GRADE:
SLAB ON GRADE TO BE 4" THICK, CAST IN PLACE CONCRETE REINFORCED WITH ONE LAYER OF 6x6-W14xW14 WWM OR 15 PCY OF FIBER REINFORCING ON 10 MIL. POLYETHYLENE VAPOR BARRIER, TURNED DOWN EDGE TO BE A MINIMUM OF 20"x20", EXTENDING A MINIMUM OF 12" INTO UNDISTURBED SOIL, AND REINFORCED WITH (2) #5'S OR (3) #4'S CONTINUOUS.

TYPICAL THICKENED SLAB:
PROVIDE THICKENED SLAB FOOTINGS BELOW ALL WALLS THAT SUPPORT ROOF AND/OR FLOOR LOADS FROM ABOVE. THICKENED SLABS TO BE A MINIMUM OF 20"x12" AND REINFORCED WITH (2) #5'S OR (3) #4'S CONTINUOUS.
ALL TOP OF WALL NOTES ARE TO THE TOP OF CMU BLOCK U.O.N.
AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN OR EQUAL) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.
FRAMING NOTES:
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS, AND CONNECTION DETAILS.
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT & CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.
WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING AT EXTERIOR SIDE ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.
INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.
DOORS & CASED OPENINGS TO BE CENTERED BETWEEN ADJACENT WALL FRAMING, UNLESS OTHERWISE DIMENSIONED.
FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" ENGINEERED HARDWOOD FLOOR INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER 10 MIL. POLYETHYLENE VAPOR BARRIER TYP.
SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" MANUFACTURED OPEN WEB TRUSS JOIST SYSTEM.
BONUS FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" MANUFACTURED OPEN WEB TRUSS JOIST SYSTEM.
PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY FINISH AND BRICK ROWLOCK BORDER
ATTIC FLOOR SYSTEM:
EXTENT TO BE DETERMINED BY G.C./OWNER - 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12 FRAMING.
CEILING JOISTS:
2x8 FRAMING (2x10 FOR CERTAIN SPANS).
ROOF RAFTERS:
3/2" EXT SHEATHING, NAILED ON 2x8 ROOF FRAMING (BRACED AT MID-SPAN WHERE REQUIRED) WITH SIMPSON HURRICANE CLIPS.
CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. G.C./OWNER TO DETERMINE EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS WITH APPROPRIATE SUBCONTRACTORS AND DESIGNERS.
FINISH NOTES:
G.C./OWNER TO DETERMINE ALL FLOOR, WALL, & CEILING FINISHES AND INTERIOR TRIM. G.C. TO ADJUST SLAB HEIGHT AND FRAMING LOCATIONS AS REQUIRED TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

DRAWING INDEX:

SHEET #	SHEET DESCRIPTION		
GENERAL			
A001	COVER	■	■
SURVEY			
SURVEY			
ARCHITECTURAL SITE			
AS101	SITE PLAN	■	■
AS102	STREETSCAPE ELEVATION	■	■
LANDSCAPE			
L-1	DRAINAGE, HARDSCAPE & LIGHTING		■
L-2	PLANTING PLAN		■
L-3	IMAGERY & PLANT SCHEDULE		■
L-4	DETAILS		■
ARCHITECTURAL			
A101	FOUNDATION PLAN		■
A102	GROUND FLOOR PLAN	■	■
A103	FIRST FLOOR PLAN	■	■
A104	SECOND FLOOR PLAN	■	■
A105	ROOF PLAN	■	■
A201	EXTERIOR ELEVATIONS	■	■
A202	EXTERIOR ELEVATIONS	■	■
A203	EXTERIOR ELEVATIONS	■	■
A204	EXTERIOR ELEVATIONS	■	■
A301	BUILDING SECTIONS		■
AS01	DETAILED SECTIONS		■
AS02	DETAILED SECTIONS		■
AS03	DETAILED SECTIONS		■
AS04	DETAILED SECTIONS		■
A601	DOOR & WINDOW SCHEDULE		■
ARCHITECTURAL ELECTRICAL			
AE101	GROUND FLOOR ELECTRICAL PLAN		■
AE102	FIRST FLOOR ELECTRICAL PLAN		■
AE103	SECOND FLOOR ELECTRICAL PLAN		■

11/4/2026 PRELIMINARY ARB REVIEW
1/21/2026 CD COORDINATION SET



DePAUW
ARCHITECTS

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COLLETON RIVER
BLUFFTON, SC 29910

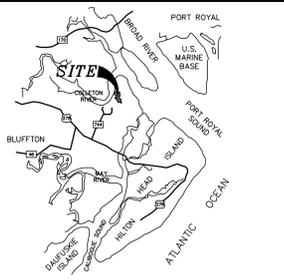
REVISIONS

PROJECT NO.	2306
CONTACT	LRD
DATE	1/21/2026

SHEET

A001

COVER SHEET



VICINITY MAP - N.T.S.



MARSHES OF THE CHEECHESSEE RIVER

HONORS ROW
35' R/W

LOT 405
0.358 Ac.
(15,588 SF)
A.P.N. R600 025 000 0257

TBM (PK NAIL SET)
EL. = 8.18' M.S.L.
NGVD-'88

LOT 404
EXISTING RESIDENCE
FLR. ELEV = 8.93'

THE AREA SHOWN ON THIS PLAN HEREIN IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE DATE
The critical line shown on this plot is valid for five years from the date of this signature, subject to the cautionary language above.

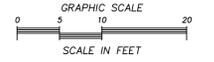
- NOTES:
- THIS LOT LIES IN ZONE "AE", B.F.E.=10' PER F.I.R.M. PANEL 45013C 0291 G. COMMUNITY No. 450025, EFFECTIVE 03/23/21.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

CURVE TABLE				
C#	ARC	RADIUS	DELTA	CHORD
C1	5.87'	267.50'	01°15'26"	N01°41'38"W 5.87'
C2	29.69'	232.50'	07°19'00"	N01°20'08"E 29.67'
C3	31.68'	35.00'	51°51'42"	N30°55'19"E 30.61'
C4	25.53'	50.00'	29°15'04"	N42°13'36"E 25.25'

LINE TABLE		
L#	LENGTH	DIRECTION
L2	30.50'	S22°53'18"W
L3	38.48'	S16°19'27"W
L4	19.85'	S20°41'37"W

REFERENCE PLAT:
A SUBDIVISION PLAT OF LOTS 404-408 BEING A PORTION OF COLLETON RIVER PLANTATION SINGLE FAMILY HOMESITES AND COITAGE SITES BY: THOMAS & HUTTON ENGINEERING CO. DATED: 2/28/02 FILE: J-12618 RECORDED: P.8. 86 PG. 33

LABEL DESCRIPTIONS (TYP.)	
—	TREE LOCATION
⊙ 18.4	GROUND ELEVATION
PN 18	TREE SPECIES & DIAMETER (IN.)



* I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

MICHAEL R. DUNIGAN
S.C.R.L.S. NO. 11905

A TREE AND TOPOGRAPHIC LAND SURVEY OF
LOT 405 HONORS ROW

A PORTION OF
COLLETON RIVER PLANTATION
BLUFFTON TOWNSHIP, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 10'
DATE: 11/10/21
JOB No.: 71,346T

SURVEYED BY: LD
DRAWN BY: JTG
CHECKED BY: MRD



PREPARED FOR: EDC PARTNERS

ONE FOOT CONTOUR INTERVAL



DePAUW ARCHITECTS

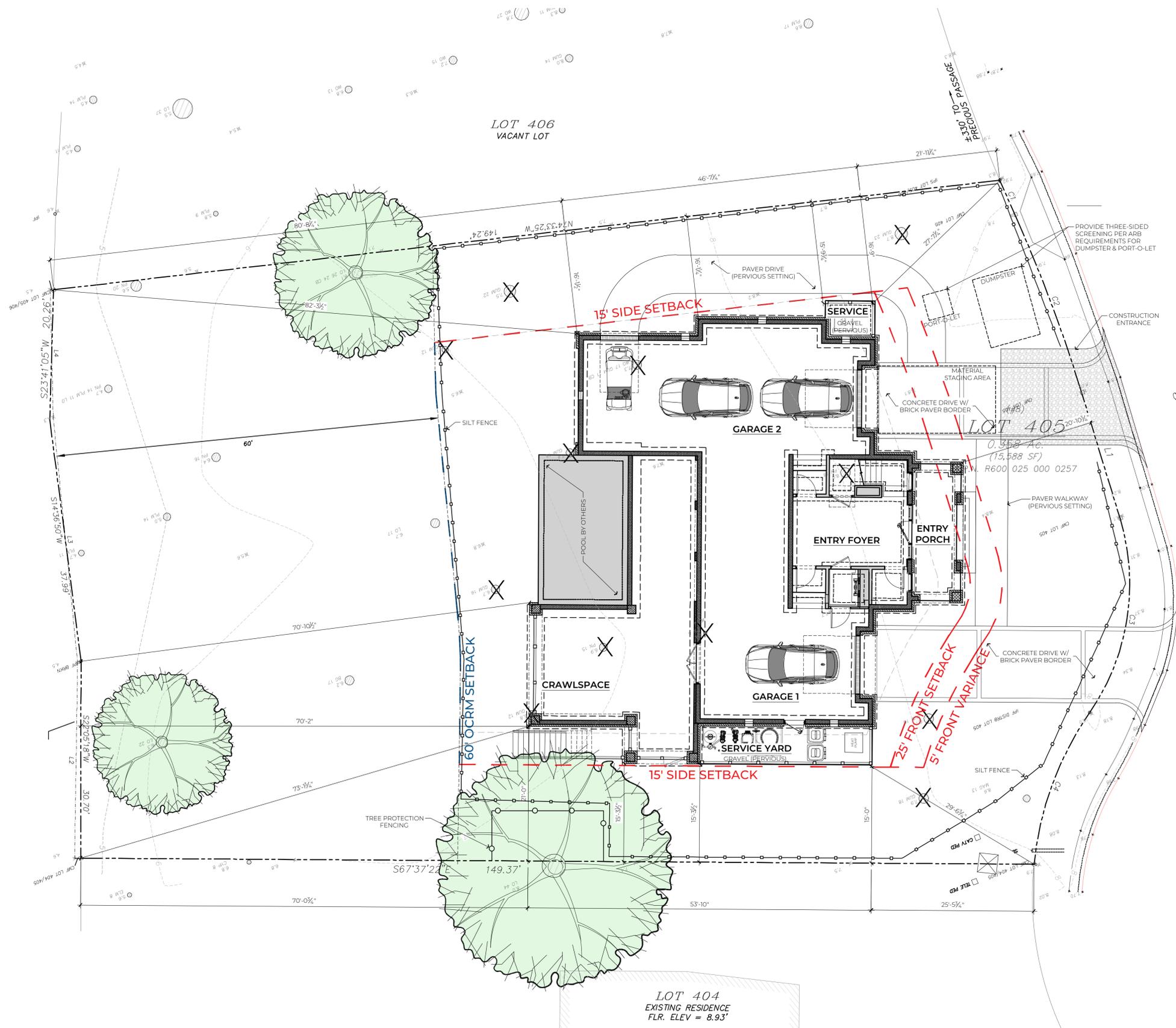
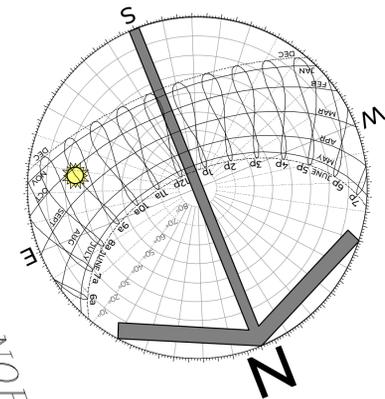
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SITE CALCULATIONS:

TOTAL LOT SQUARE FOOTAGE:	15,588 SF
IMPERVIOUS % ALLOWABLE:	30%
BUILDING FOOTPRINT:	3,627 SF
IMPERVIOUS SURFACES:	864 SF
TOTAL IMPERVIOUS:	4,491 SF
TOTAL % COVERAGE:	28.8%



HONORS ROW
35' R/W

TBM (PK NAIL SET)
EL. = 8.18' M.S.L.
NGVD - 88

LOT 404
EXISTING RESIDENCE
FLR. ELEV = 8.93'

LEGEND

BG	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
CYP	CYPRESS
GUM	GUM
IPF	IRON PIN (OLD) FOUND
IPF BRKN	IPF FOUND BROKEN
IPF DISTRB	IPF FOUND DISTURBED
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALMETTO
PN	PINE
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TELE PED	TELEPHONE PEDESTAL
WO	WATER OAK

- NOTES:
- THIS LOT LIES IN ZONE "A2", B.F.E. = 10' PER F.L.R.M. PANEL 4500150 0291 G, COMMUNITY No. 450026, EFFECTIVE: 03/23/21.
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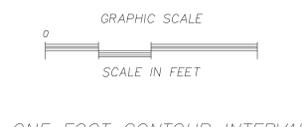
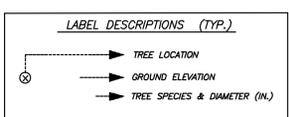
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REFERENCE PLAT:

PLAT 11-12025	SB 81	P1
PLAT 12-12025	SB 81	P1
PLAT 13-12025	SB 81	P1
PLAT 14-12025	SB 81	P1
PLAT 15-12025	SB 81	P1
PLAT 16-12025	SB 81	P1
PLAT 17-12025	SB 81	P1
PLAT 18-12025	SB 81	P1
PLAT 19-12025	SB 81	P1
PLAT 20-12025	SB 81	P1

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COLLETON RIVER
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2306
CONTACT LRD
DATE 1/21/2026

SHEET

1 SITE PLAN
AS101 1/8" = 1'-0"

AS101

SITE PLAN



1 STREETScape ELEVATION
AS102 1/16" = 1'-0"



2 STREETScape PLAN
AS102 1/16" = 1'-0"



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COLLETON RIVER
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2306
CONTACT LRD
DATE 1/21/2026

SHEET

AS102

STREETScape ELEVATION

DRAINAGE & GRADING KEY

- - - EXISTING GRADE
- PROPOSED CONTOUR
- CENTERLINE OF SWALE
- ← PROPOSED FLOW
- +17.4 SPOT ELEVATION
- AREA DRAIN
- DOWNSPOUT CONNECTION
- 4" PIPE
- 6" PIPE
- 8" PIPE
- FRENCH DRAIN
- ▭ RAIN GARDEN

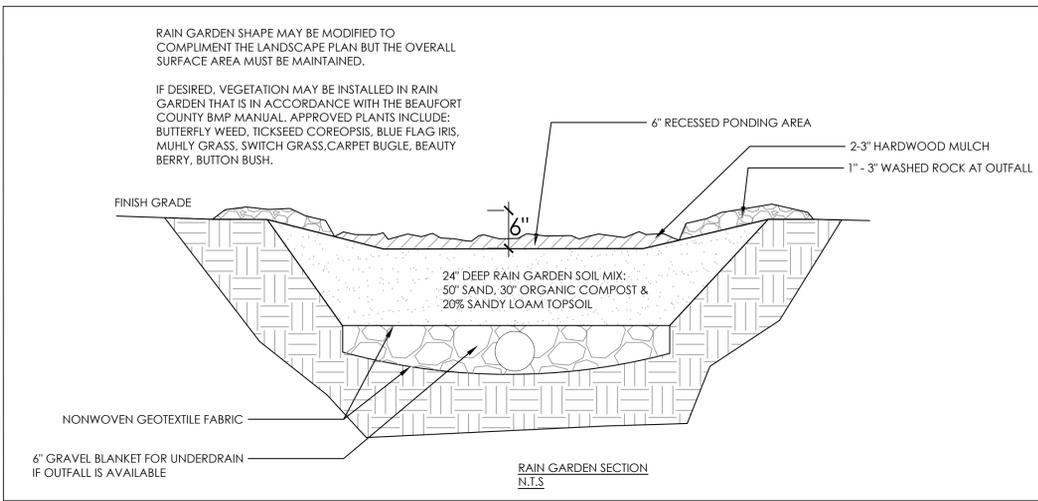
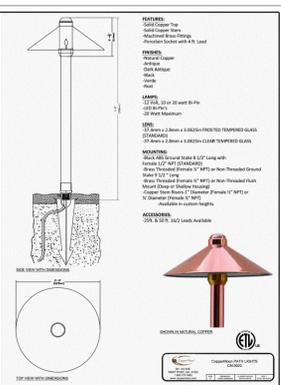
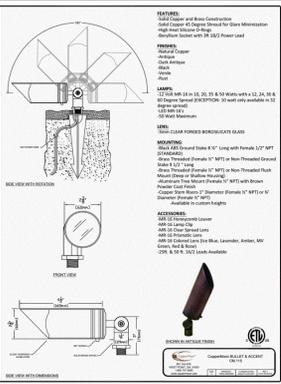
NOTE: SEE DETAILS ON DETAIL SHEET.

ABBREVIATIONS

- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- HP HIGH POINT
- LP LOW POINT
- RIM TOP OF DRAIN
- BW BOTTOM OF WALL
- TW TOP OF WALL
- BS BOTTOM OF STEP
- TS TOP OF STEP
- TOC TOP OF CURB
- BOC BOTTOM OF CURB

DRAINAGE NOTES

1. GRADE SLOPES AWAY FROM BUILDING.
2. ALL DISTURBED AREAS ARE TO BE EITHER SODDED OR MULCHED PER LANDSCAPE PLAN.
3. CONTRACTOR TO INSURE THAT SITE DRAINAGE WILL BE MAINTAINED WITHIN THE PROPERTY BOUNDARIES AND THAT NO DRAINAGE WILL BE DIRECTED ONTO ADJACENT PROPERTIES.
4. CONTRACTOR TO INSTALL SILT FENCE AS NEEDED TO KEEP SEDIMENT ON-SITE.
5. THE PAD UNDER THE HOUSE IS TO BE SLOPED TO DRAIN TOWARDS THE PERIMETER OF THE HOUSE.
6. IF HOUSE IS TO BE GUTTERED, ALL DOWN SPOUTS ARE TO BE COLLECTED AND DIRECTED TO LANDSCAPE SWALE VIA UNDER GROUND PIPES.

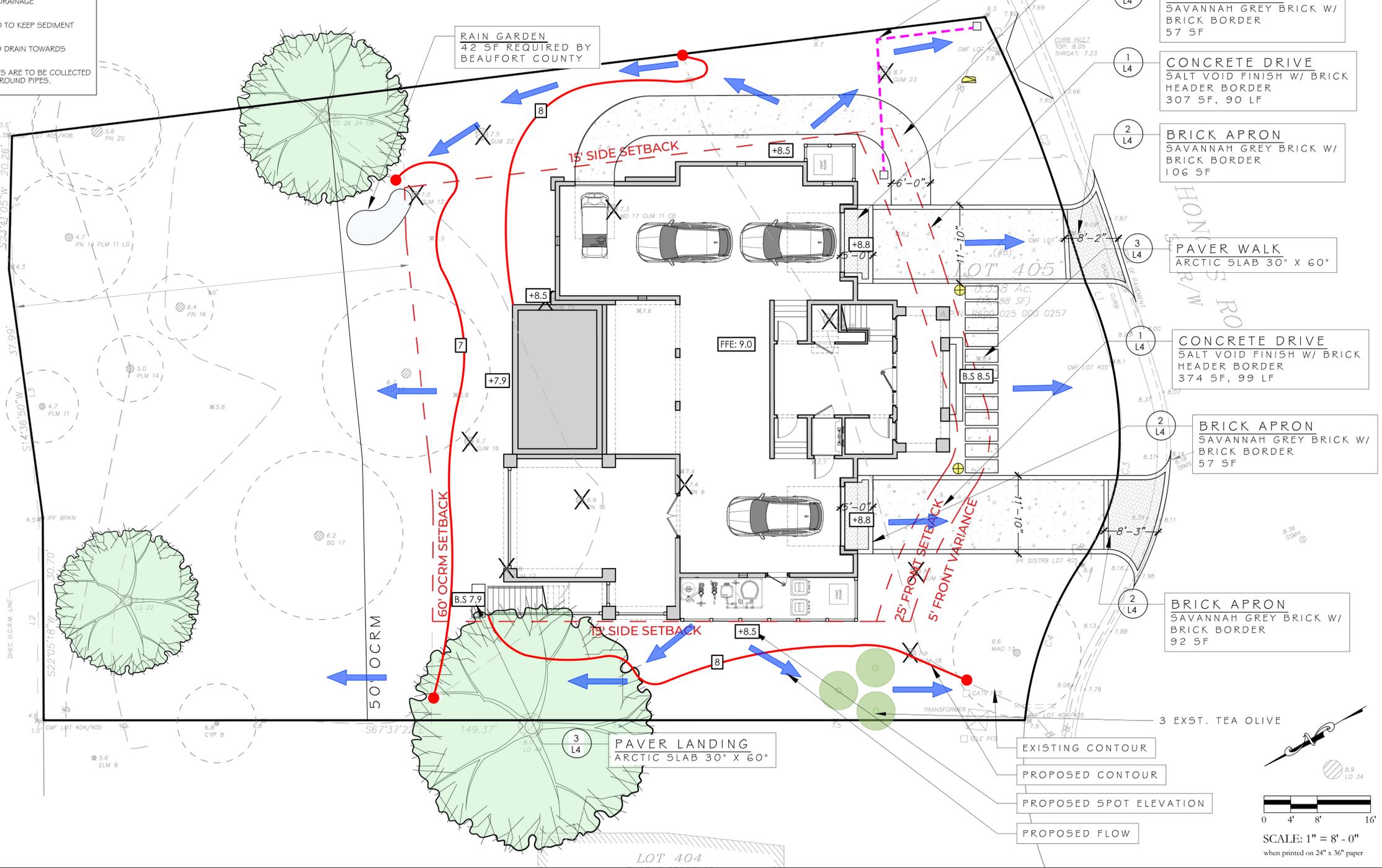


LIGHTING KEY

- 1 UP LIGHT(S)
CM. 1.15AF
 - 0 DOWN LIGHT(S)
CM. 1.15UAF
 - 2 PATH LIGHT(S)
CM. 9020AF
- FINISH: ANTIQUE
- NOTES: LIGHT SOURCE TO BE HIDDEN AND NOT POINT TOWARDS PROPERTY LINES.
SEE DETAILS ON DETAIL SHEET.

SITE CALCULATIONS

TOTAL BUILDING FOOTPRINT.....	3361 sf
HARDSCAPE IMPERVIOUS.....	1224 sf
TOTAL IMPERVIOUS.....	4585 sf
TOTAL LOT SQUARE FOOTAGE.....	15588 sf
TOTAL IMPERVIOUS AS PERCENTAGE OF LOT.....	29.4%



1 OF 2 18" NDS CATCH BASIN WITH 6" SDR PIPE EXITING TO STORM WATER DRAIN AT 36LF

1 L4 CONCRETE DRIVE SALT VOID FINISH 386 SF

2 L4 BRICK APRON SAVANNAH GREY BRICK W/ BRICK BORDER 57 SF

1 L4 CONCRETE DRIVE SALT VOID FINISH W/ BRICK HEADER BORDER 307 SF, 90 LF

2 L4 BRICK APRON SAVANNAH GREY BRICK W/ BRICK BORDER 106 SF

3 L4 PAVER WALK ARCTIC SLAB 30" X 60"

1 L4 CONCRETE DRIVE SALT VOID FINISH W/ BRICK HEADER BORDER 374 SF, 99 LF

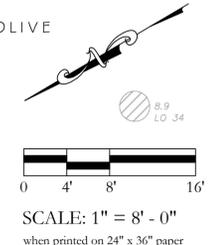
2 L4 BRICK APRON SAVANNAH GREY BRICK W/ BRICK BORDER 57 SF

1 L4 CONCRETE DRIVE SALT VOID FINISH W/ BRICK HEADER BORDER 374 SF, 99 LF

2 L4 BRICK APRON SAVANNAH GREY BRICK W/ BRICK BORDER 92 SF

3 EXST. TEA OLIVE

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED FLOW



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**DRAINAGE,
HARDSCAPE &
LIGHTING**

SHEET: L-1



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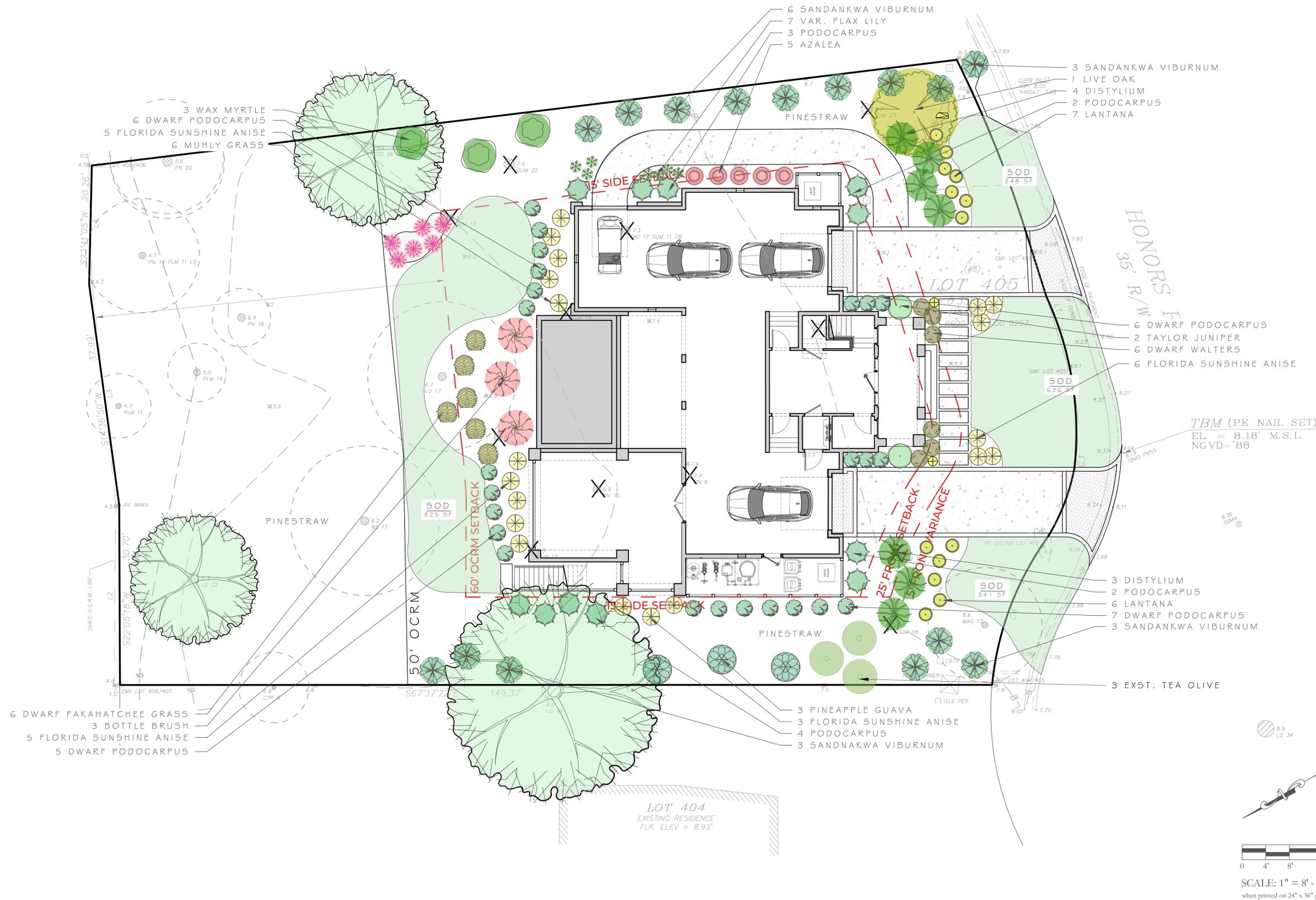
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PLANTING
PLAN

SHEET: L-2





DWARF PODOCARPUS



ANISE FLORIDA SUNSHINE



PODOCARPUS



AZALEA



PINEAPPLE GUAVA



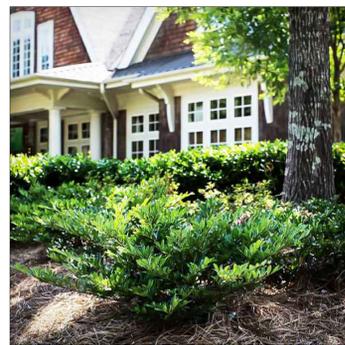
SANDANKWA VIBURNUM



DWARF WALTERS



WAX MYRTLE



DISTYLIUM



DWARF FAKAHATCHEE



PINK MUHLY



LANTANA



VAR. FLAX LILY



TAYLOR JUNIPER



LIVE OAK



SOD



PINESTRAW



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PLANT SCHEDULE							
OVERSTORY TREES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Caliper	Gallon
1	Live Oak*	<i>Quercus virginiana</i>		10-12'	3-4'	4"	100
UNDERSTORY TREES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
2	Taylor Juniper	<i>Juniperus virginiana 'Taylor'</i>		8-10'	3-4'		30
SHRUBS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread		Gallon
19	Anise, Florida Sunshine*	<i>Illicium parviflorum 'Florida Sunshine'</i>		24-36"	2-3'		7
5	Azalea, Encore*	<i>Rhododendron sp.</i>		24-36"	2-3'		7
3	Bottlebrush, Crimson	<i>Callistemon citrinus</i>		36"-48"	36"-48"		15
24	Podocarpus, Dwarf	<i>Podocarpus macrophyllus 'Pringles'</i>		18-24"	18-24"		7
3	Pineapple Guava	<i>Feijoa sellowiana</i>		2-3'	2-3'		7
11	Podocarpus	<i>Podocarpus macrophyllum maki</i>		3-4'	2'		15
15	Viburnum, Sandankwa	<i>Viburnum suspensum</i>		24-36"	2-3'		7
6	Viburnum, Walters*	<i>Viburnum obovatum 'Mrs. Schiller's Delight'</i>		2-3'	2'		7
3	Wax Myrtle*	<i>Myrica cerifera</i>		2-3'	2-3'		7
7	Distylium, Vintage Jade	<i>Distylium 'Vintage Jade'</i>		2-3'	2-3'		7
VINES GROUNDCOVERS AND GRASSES:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
6	Dwarf Fakahatchee Grass*	<i>Tripsacum floridanum</i>		1-2'	1-2'		1
6	Pink Muhly Grass*	<i>Muhlenbergia capillaris</i>		1-2'	1-2'		3
PERENNIALS & ANNUALS:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
13	Lantana, yellow	<i>Lantana camara 'Gold Mound'</i>		1-2'	1-2'		1
7	Variegated Flax Lily	<i>Dianella tasmanica 'Variegata'</i>		1-2'	1-2'		3
SOD & MULCH:							
QTY	Common Name	Botanical Name	Notes	Height	Spread	Notes	Gallon
2040	Sod estimate	Empire Zoysia					SF
8,727	Pine straw estimate						SF

NOTE: Deer damage is not covered by Earthworks plant warranty. Deer preference and browsing habits vary by season and location.

* Native Plant

^ Sub Tropical Plant

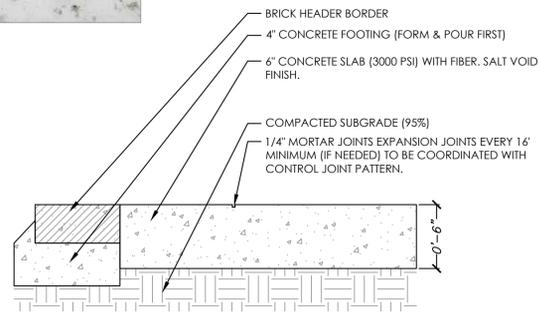
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LB & AC 10/27/25

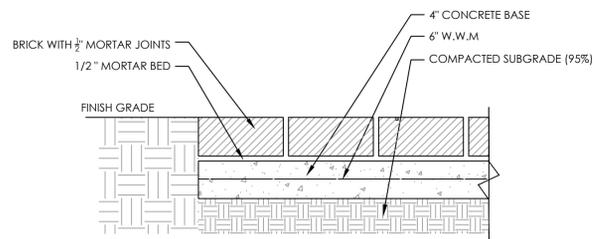
LB & AC 11/03/25

IMAGERY &
PLANT
SCHEDULE

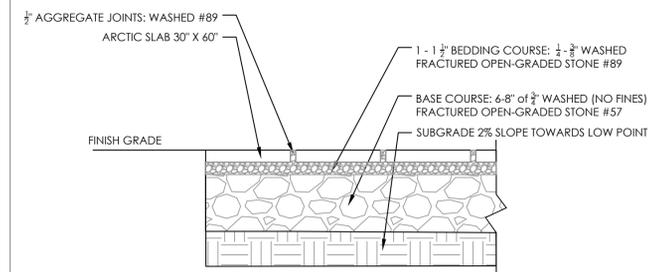
SHEET: L-3



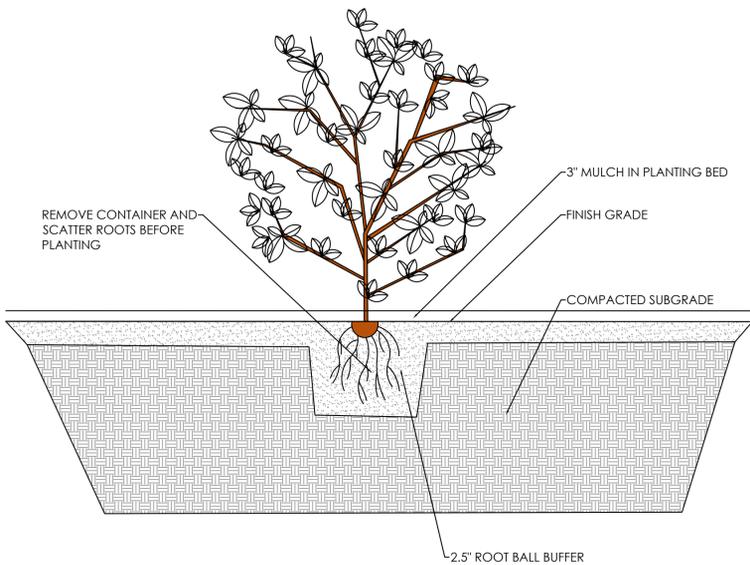
1 SALT VOID FINISH CONCRETE DRIVE W/ BRICK BORDER
 SCALE: 1 1/2" = 1' - 0"



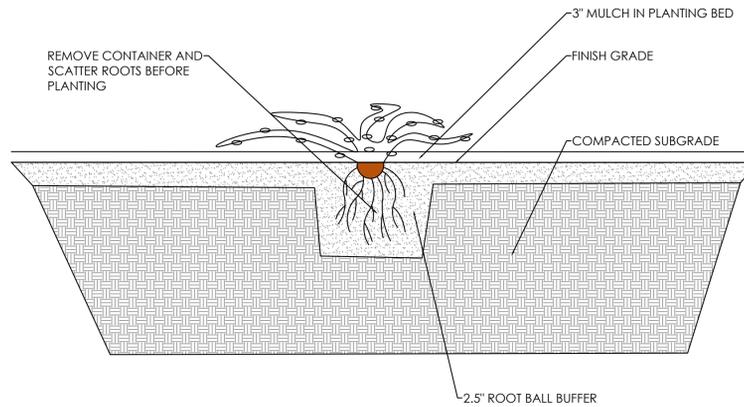
2 BRICK APRON
 SCALE: 1 1/2" = 1' - 0"



3 SLAB PAVERS
 SCALE: 1 1/2" = 1' - 0"



5 SHRUB INSTALL
 SCALE: 1/2" = 1' - 0"



6 GROUNDCOVER INSTALL
 SCALE: 1/2" = 1' - 0"



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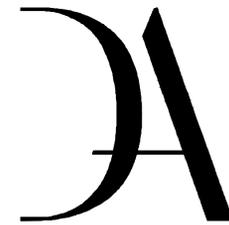
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 I.B. & AC 11/03/25

DETAILS

SHEET: L-4

WALL LEGEND

	16" CMU
	12" CMU
	8" CMU
	6" CMU
	RAISED CMU
	4" CMU
	BRICK
	TREATED WOOD



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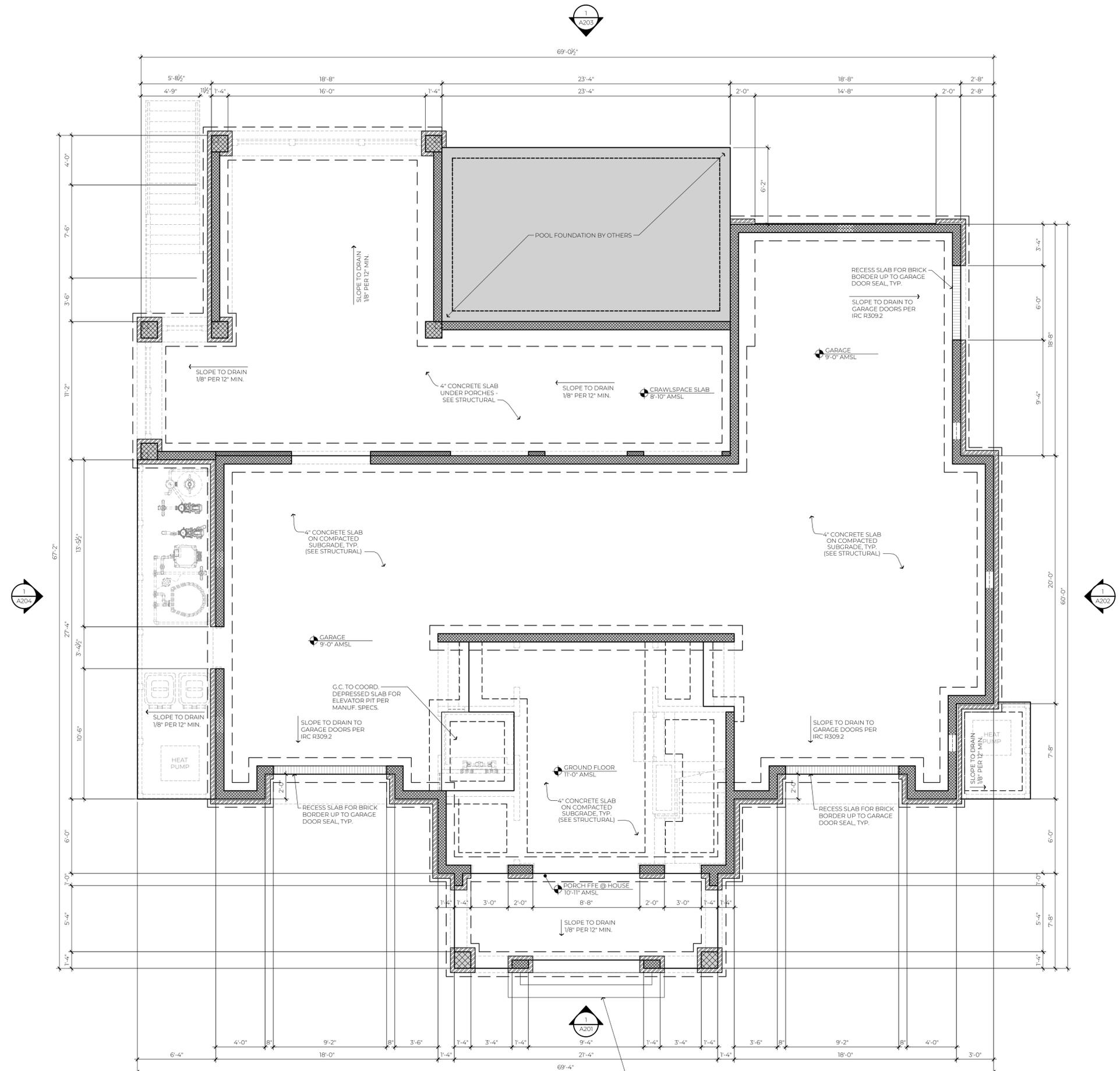
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DATE 1/21/2026
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A101

FOUNDATION PLAN

1 FOUNDATION PLAN
A101 1/4" = 1'-0"





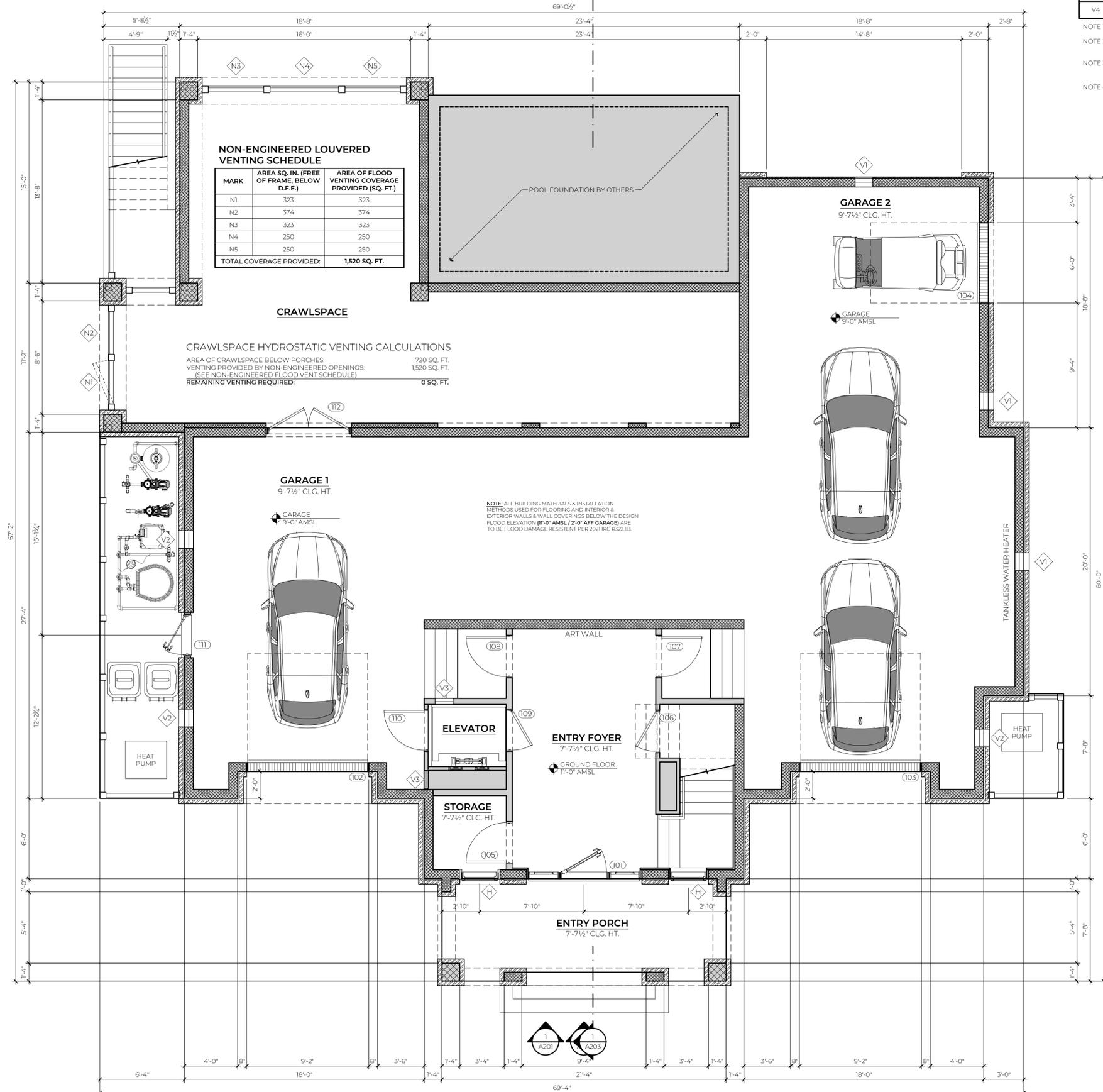
ENGINEERED VENTING CALCULATIONS

ROOM NAME	AREA BELOW D.F.E.	COVERAGE AREA PROVIDED	PERIMETER FLOOD VENTS PROVIDED	INTERIOR FLOOD VENTS PROVIDED
GARAGE #1, GARAGE #2 & ELEVATOR	1,641 SQ. FT.	1,800 SQ. FT.	9	2

HYDROSTATIC VENT SCHEDULE

MARK	DESCRIPTION	MODEL NO.	COVERAGE AREA PER VENT	TRIM KIT MODEL NO.
V1	SMART VENT INSULATED	1540-520	200 SQ. FT.	--
V2	SMART VENT INSULATED STACKER	1540-521	400 SQ. FT.	--
V3	SMART VENT WOOD WALL W FIRE DAMPER	1540-570 W/ 1540-537	200 SQ. FT.	--
V4	SMART VENT INSULATED WOOD WALL	1540-570	200 SQ. FT.	--

- NOTE 1: ALL FLOOD VENTS TO BE SMARTVENT, ICC-ES CERTIFIED 200 SQ. FT. COVERAGE U.O.N.
- NOTE 2: ALL VENTS TO BE STAINLESS STEEL FINISH.
- NOTE 3: ALL BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR & EXTERIOR WALL CONSTRUCTION BELOW 13'-0" AMSL ARE TO BE FLOOD DAMAGE-RESISTANT PER 2021 IRC R322.1.8
- NOTE 4: ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE 13'-0" AMSL PER 2021 IRC R322.1.6



NON-ENGINEERED LOUVERED VENTING SCHEDULE

MARK	AREA SQ. IN. (FREE OF FRAME, BELOW D.F.E.)	AREA OF FLOOD VENTING COVERAGE PROVIDED (SQ. FT.)
N1	323	323
N2	374	374
N3	323	323
N4	250	250
N5	250	250
TOTAL COVERAGE PROVIDED:		1,520 SQ. FT.

CRAWLSPACE HYDROSTATIC VENTING CALCULATIONS

AREA OF CRAWLSPACE BELOW PORCHES: 720 SQ. FT.
 VENTING PROVIDED BY NON-ENGINEERED OPENINGS: 1,520 SQ. FT.
 (SEE NON-ENGINEERED FLOOD VENT SCHEDULE)
 REMAINING VENTING REQUIRED: 0 SQ. FT.

NOTE: ALL BUILDING MATERIALS & INSTALLATION METHODS USED FOR FLOORING AND INTERIOR & EXTERIOR WALLS & WALL COVERINGS BELOW THE DESIGN FLOOD ELEVATION (11'-0" AMSL / 2'-0" AFF GARAGE) ARE TO BE FLOOD DAMAGE RESISTANT PER 2021 IRC R322.1.8.



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 SHEET

A102

GROUND FLOOR PLAN

1 GROUND FLOOR PLAN
 1/4" = 1'-0"



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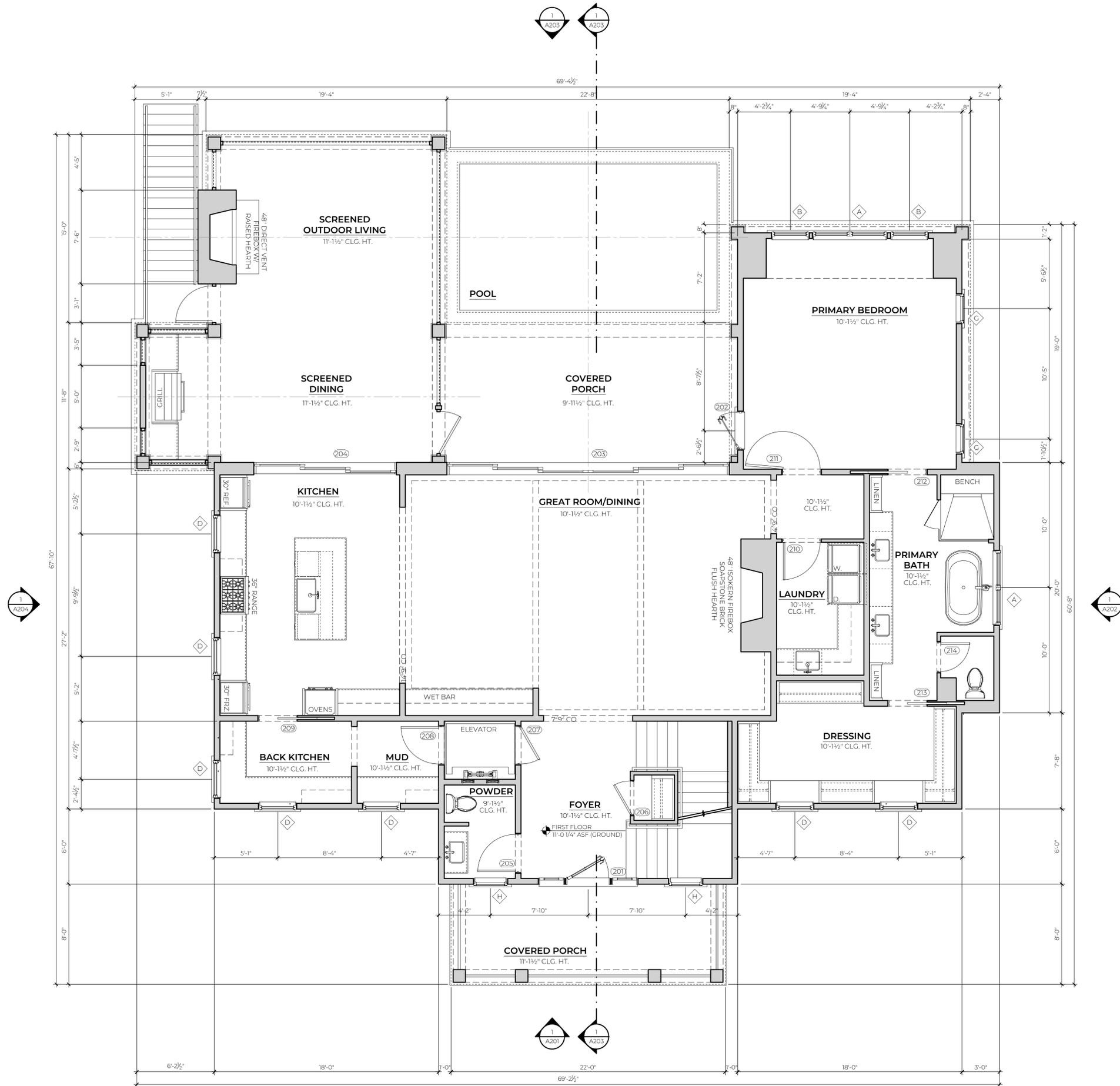
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A103

FIRST FLOOR PLAN

1 FIRST FLOOR PLAN
A103 1/4" = 1'-0"





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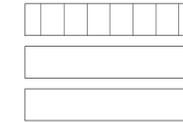
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A104

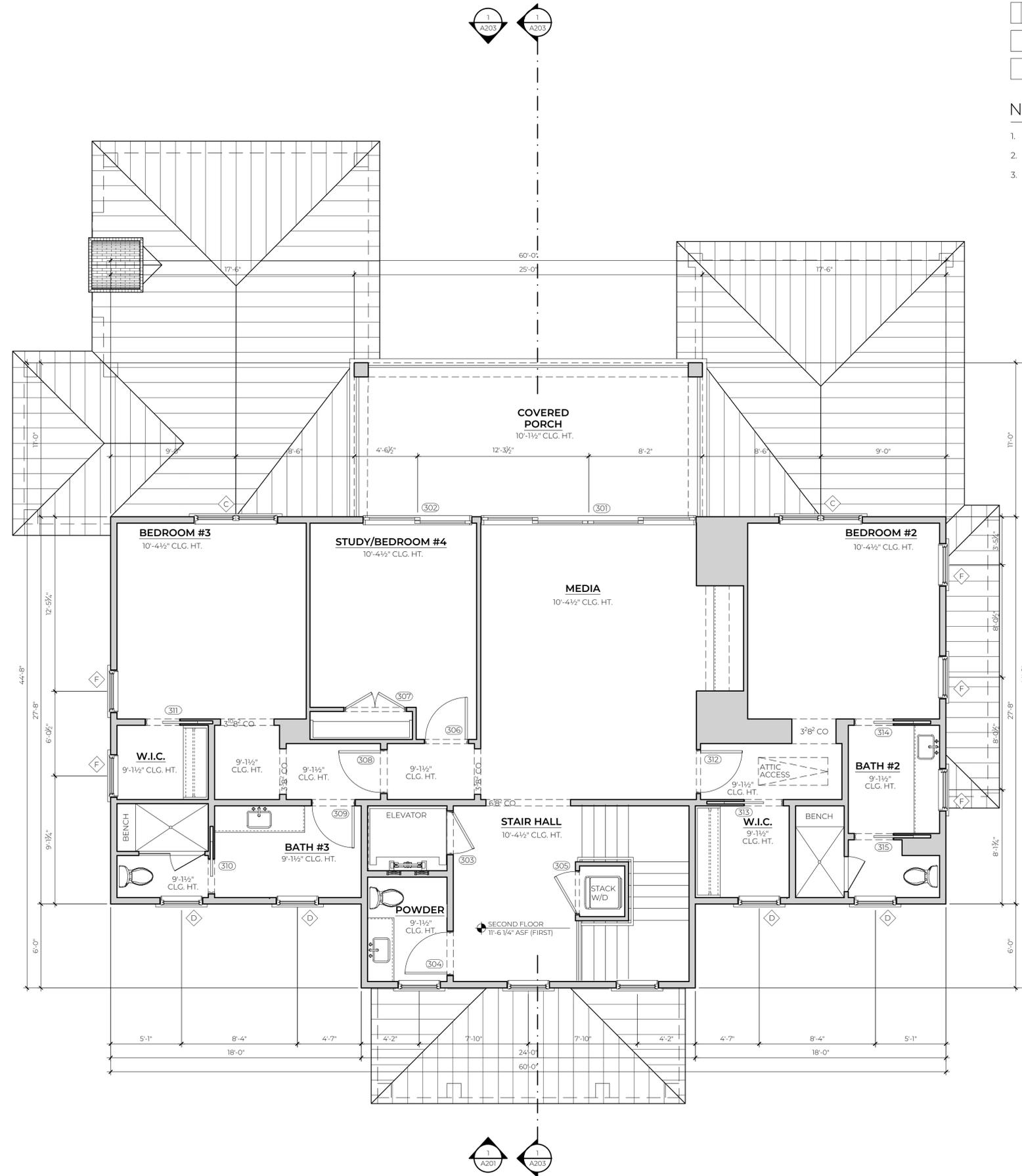
SECOND FLOOR PLAN

KEY



NOTES & SPECIFICATIONS

1. INSTALL HIGH TEMP ICE & WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES
2. G.C. TO VERIFY CRICKET SLOPE, FLASHING, COUNTER FLASHING & AS-BUILT ROOF CONDITIONS FOR PROPER WATER SHED & DRAINAGE
3. SEE A501-A504 FOR ALL EAVE & RAKE OVERHANGS U.O.N.



1 SECOND FLOOR PLAN
A104 1/4" = 1'-0"



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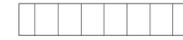
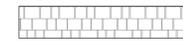
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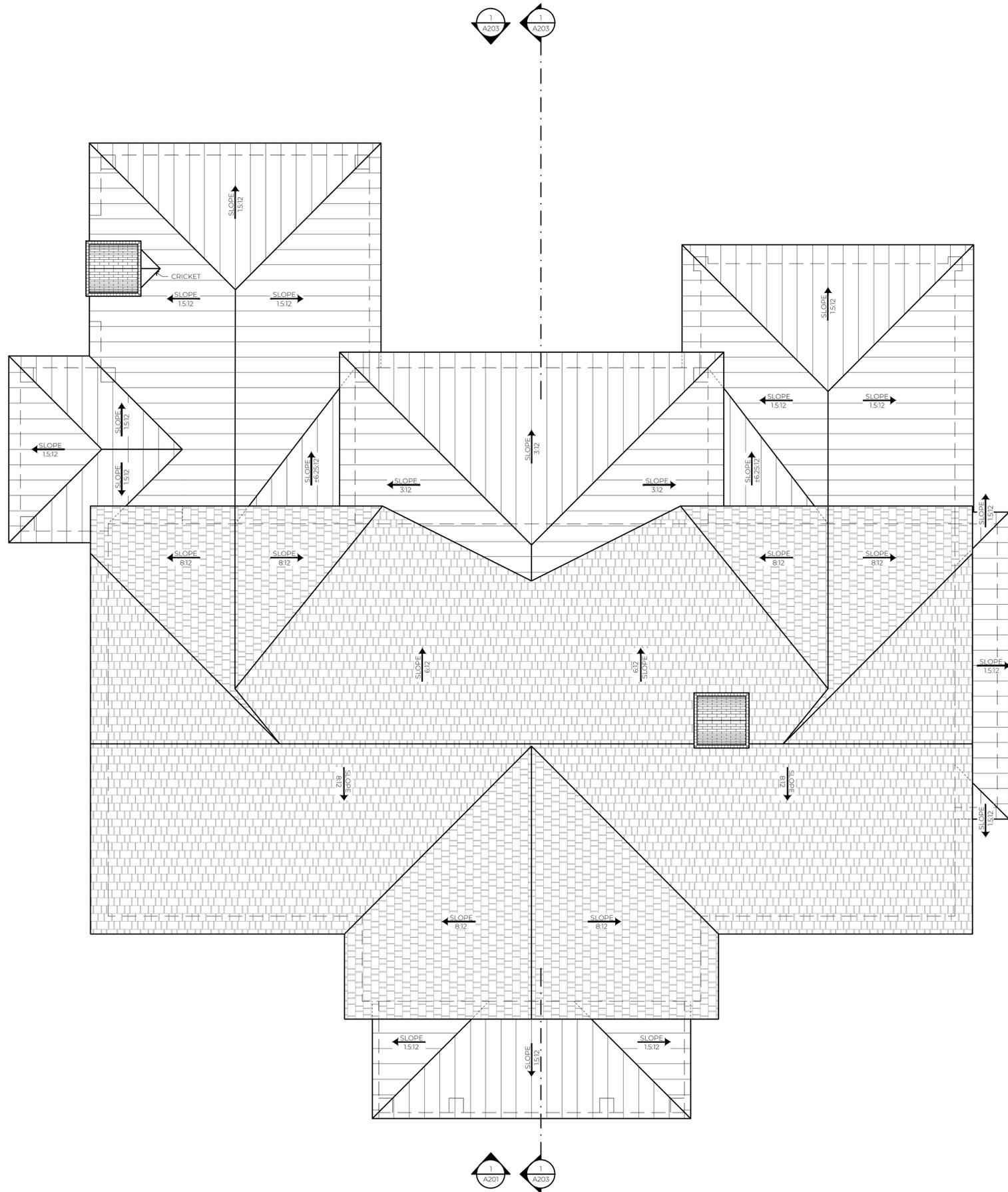
ROOF PLAN

KEY

-  STANDING SEAM METAL ROOFING
(SEE A501 FOR SPECIFICATIONS)
-  ARCHITECTURAL ASPHALT SHINGLE ROOFING
(SEE A501 FOR SPECIFICATIONS)
-  AREA OF OVER FRAMED ROOF
(SEE STRUCTURAL ROOF PLANS S103 & S105)

NOTES & SPECIFICATIONS

- INSTALL HIGH TEMP ICE & WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES
- G.C. TO VERIFY CRICKET SLOPE, FLASHING, COUNTER FLASHING & AS-BUILT ROOF CONDITIONS FOR PROPER WATER SHED & DRAINAGE
- SEE A501-A504 FOR ALL EAVE & RAKE OVERHANGS U.O.N.



1 ROOF PLAN
A105 1/4" = 1'-0"

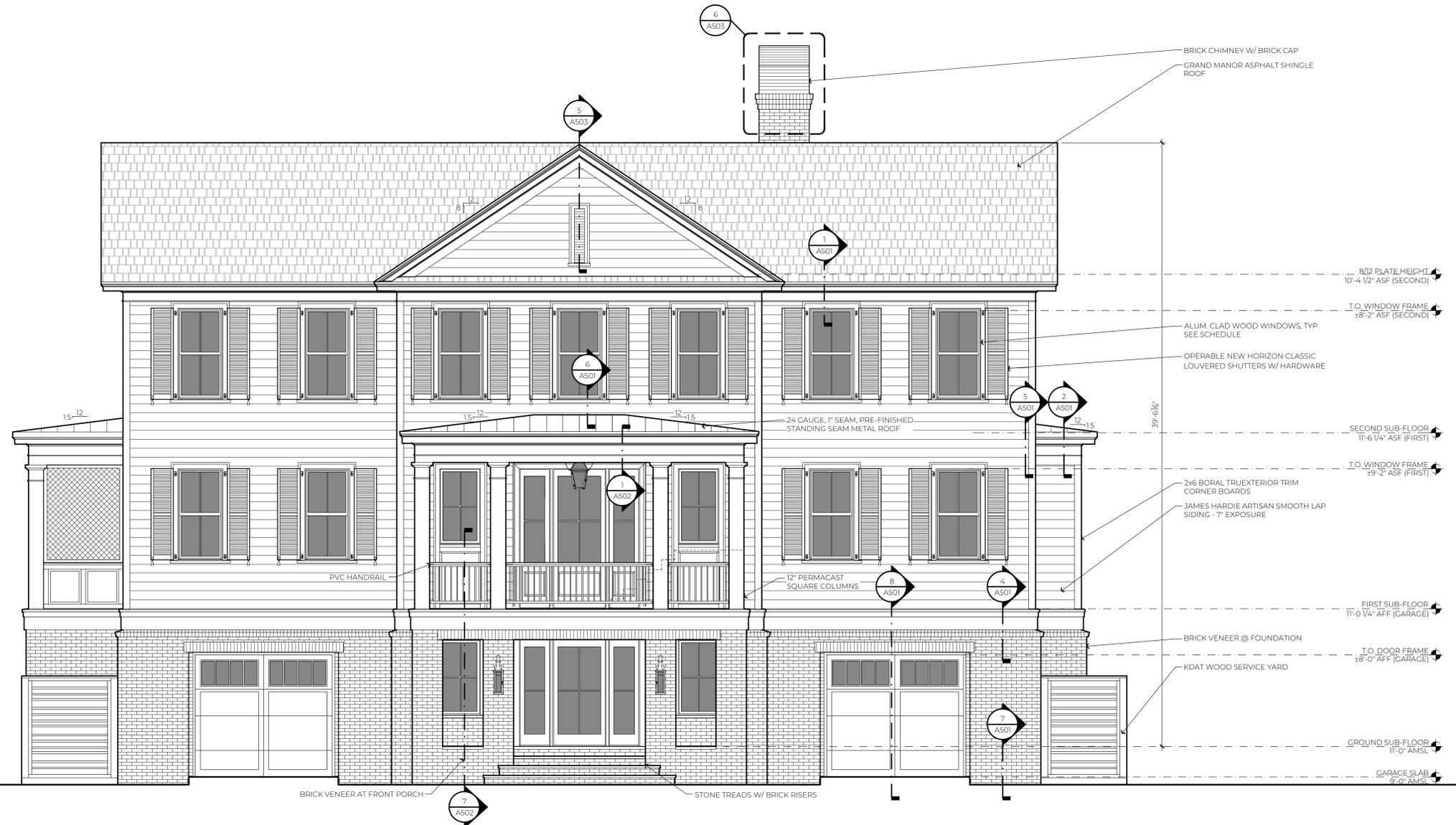


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1 FRONT ELEVATION
A201 1/4" = 1'-0"

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SHEET

A201

EXTERIOR ELEVATIONS



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1 RIGHT ELEVATION
A202 1/4" = 1'-0"

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SHEET

A202

EXTERIOR ELEVATIONS



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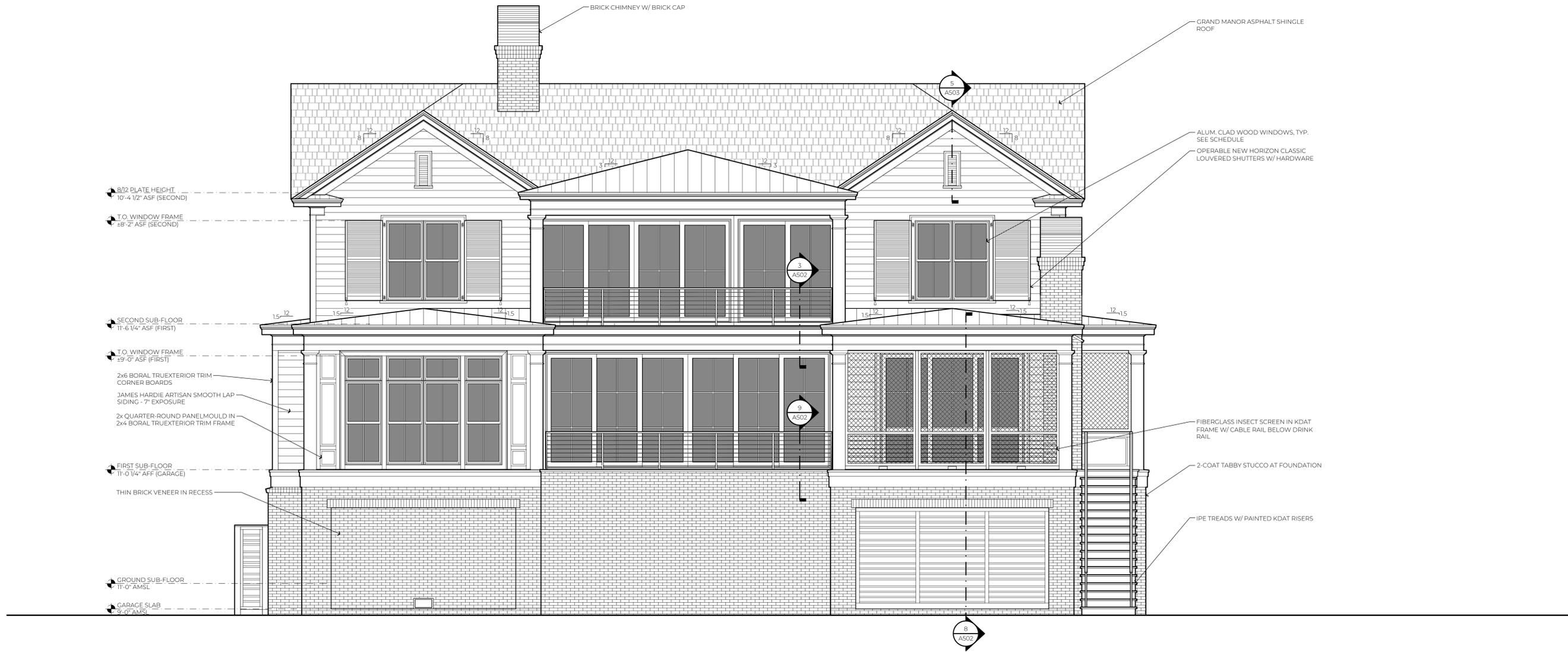
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SHEET

A203

EXTERIOR ELEVATIONS



1 REAR ELEVATION
A203 1/4" = 1'-0"

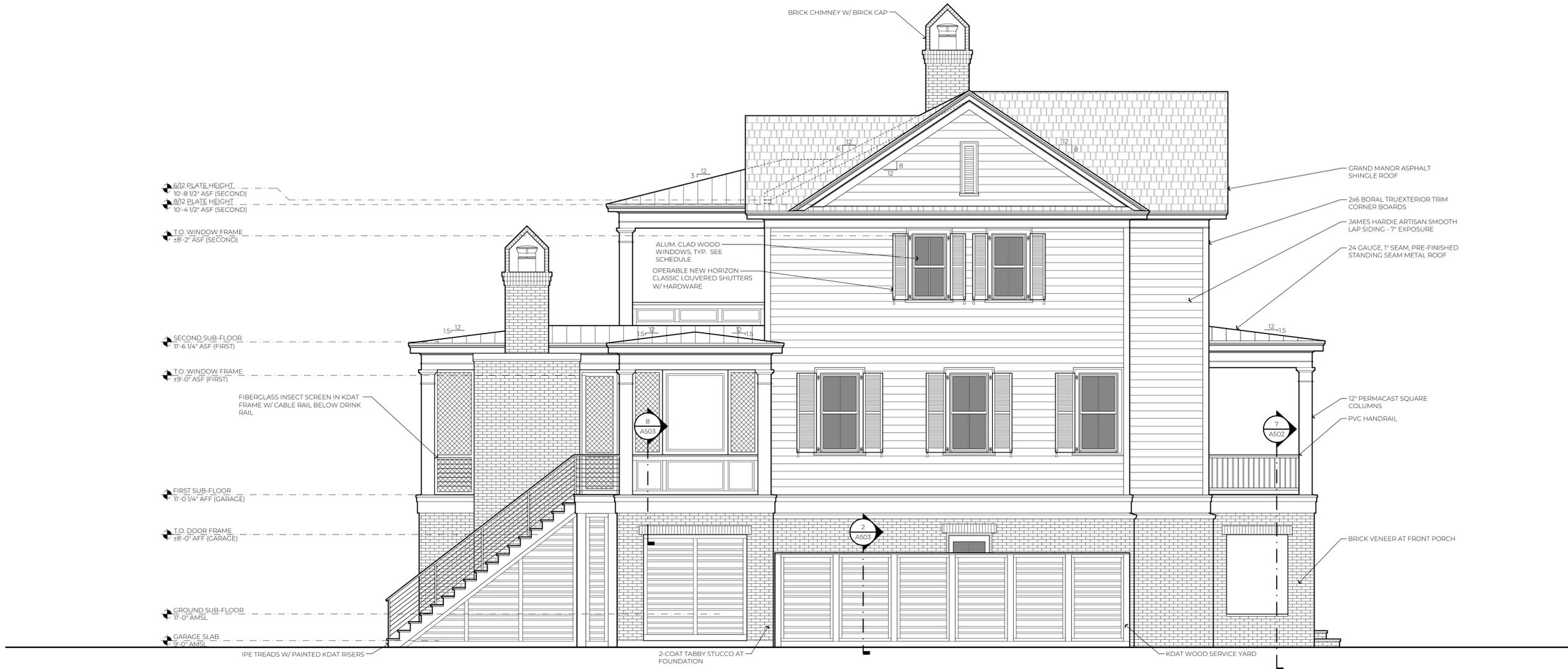


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1 LEFT ELEVATION
A204 1/4" = 1'-0"

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SHEET

A204

EXTERIOR ELEVATIONS

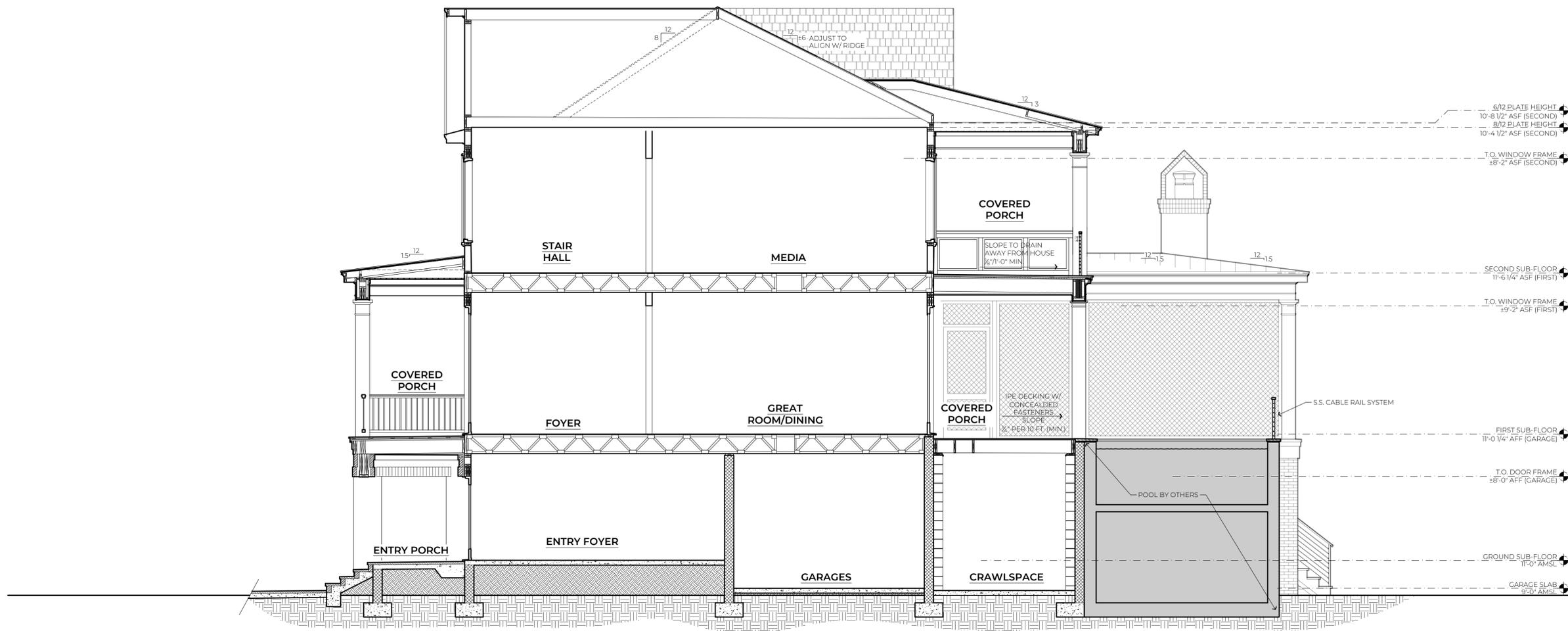


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1 BUILDING SECTION
A301 1/4" = 1'-0"

EDC PARTNERS
LOT 405 HONORS ROW
COLLETON RIVER
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2306
CONTACT LRD
DATE 1/21/2026

SHEET

A301

BUILDING SECTIONS



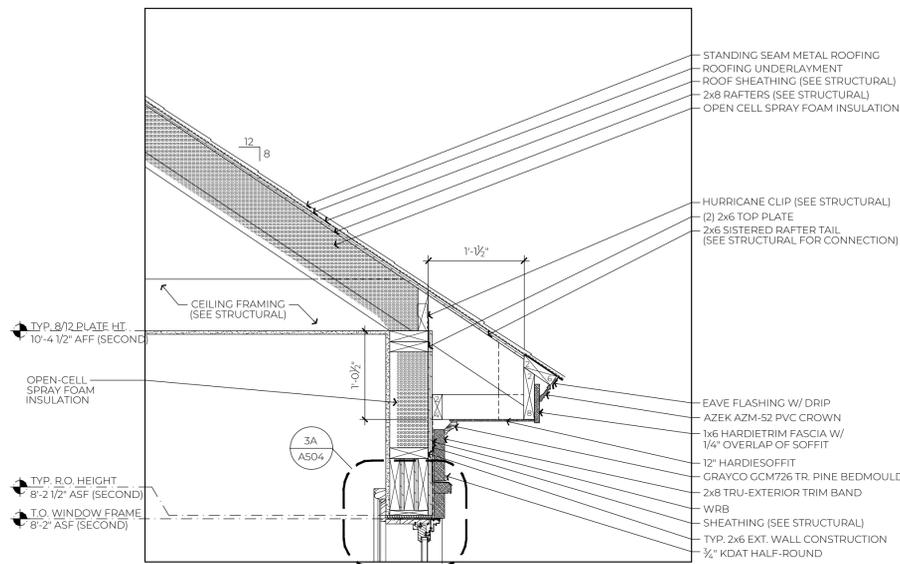
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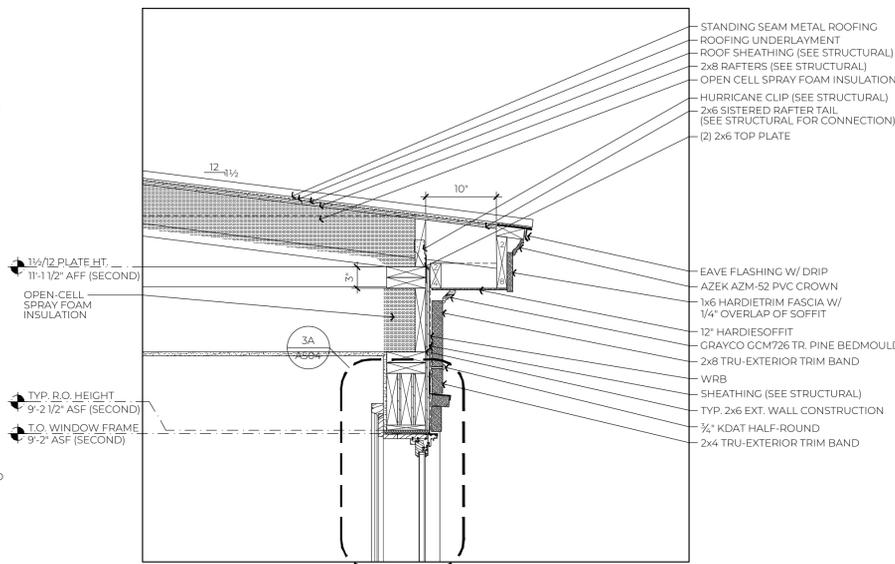
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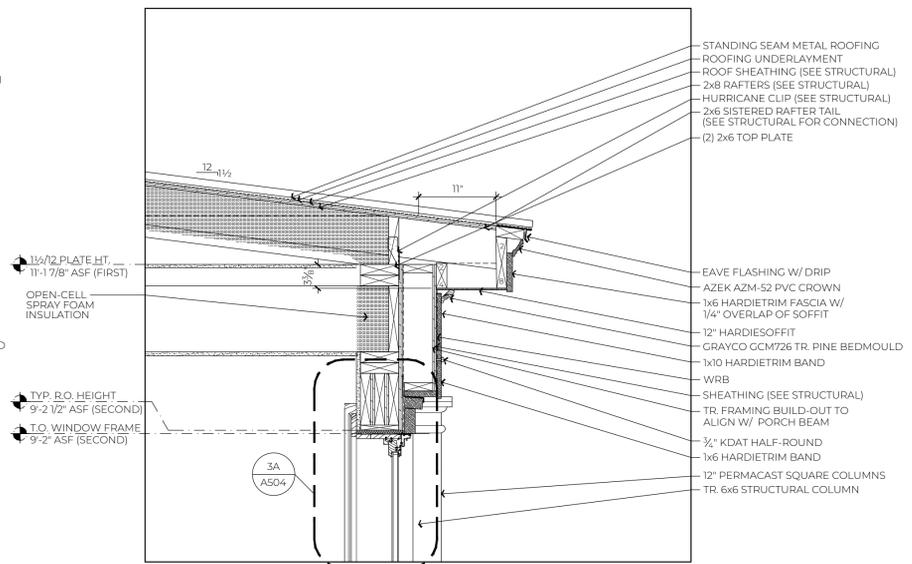
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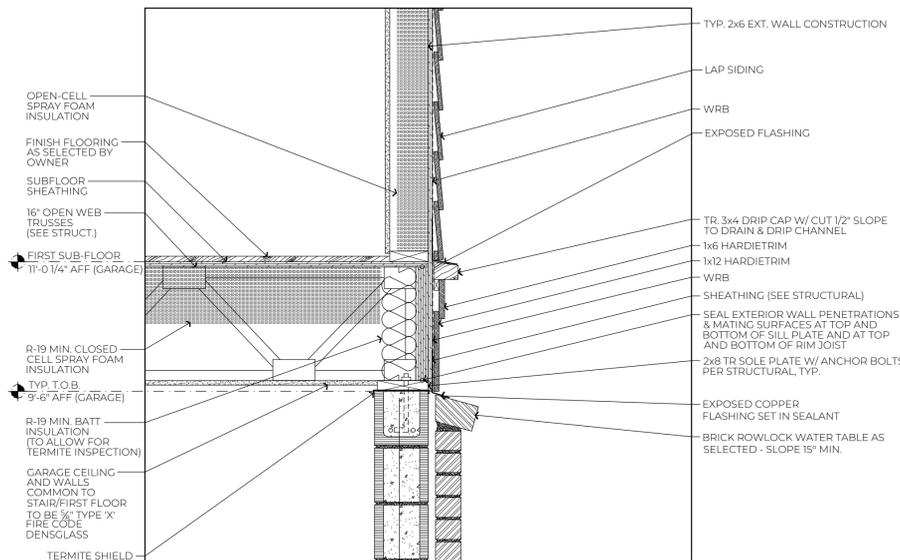
1 TYP. 8/12 EAVE
A501 1" = 1'-0"



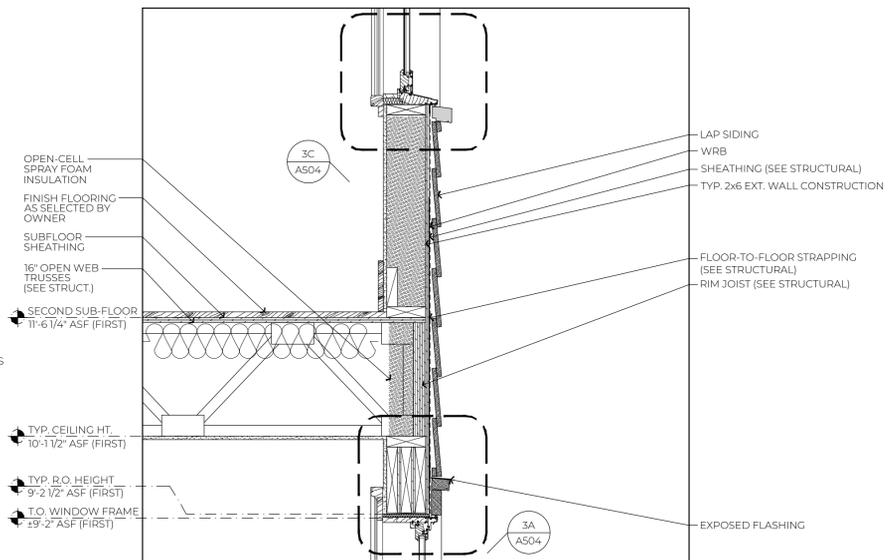
2 TYP. 1 1/2/12 EAVE
A501 1" = 1'-0"



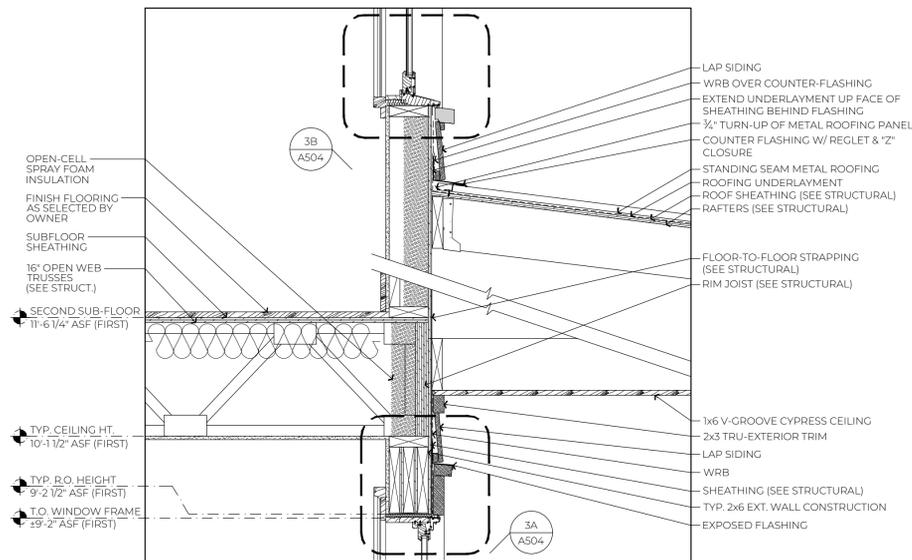
3 BUILT-IN PORCH EAVE
A501 1" = 1'-0"



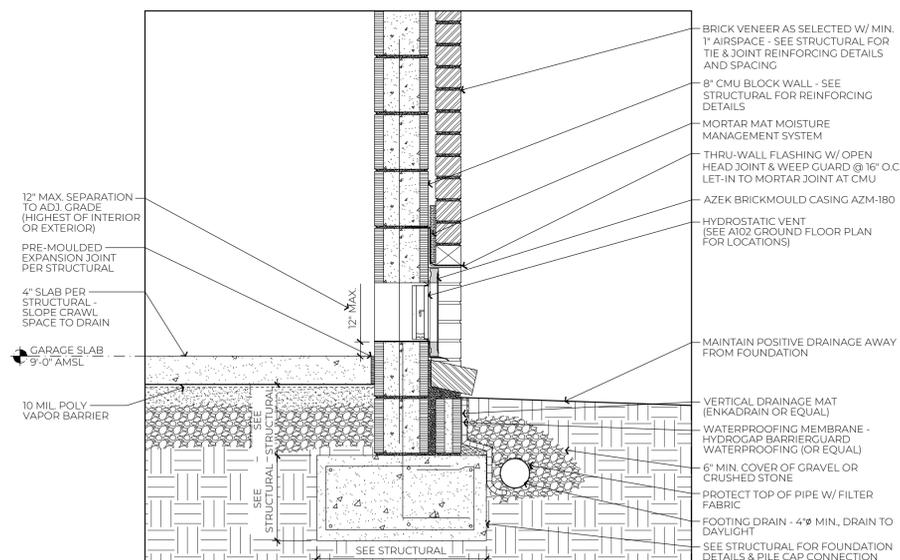
4 TYP. FIRST FLOOR TRANSITION
A501 1" = 1'-0"



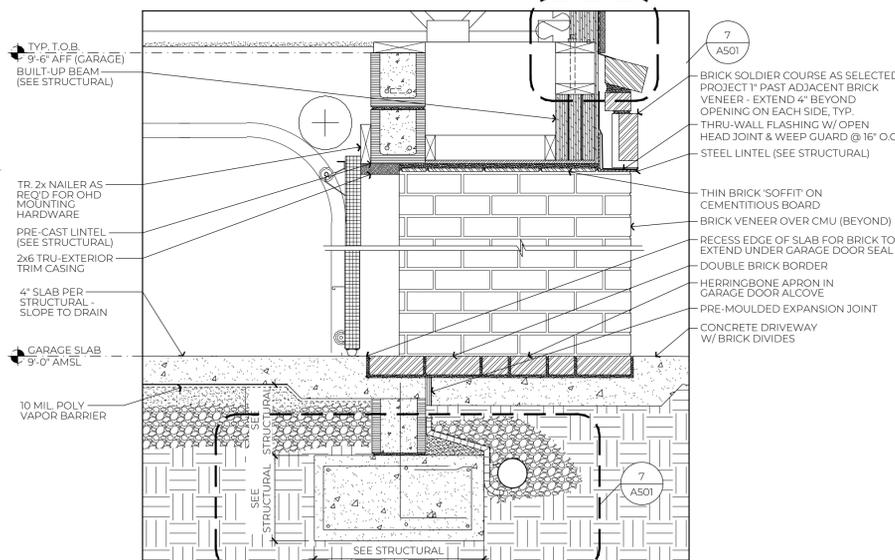
5 SECOND FLOOR SECTION
A501 1" = 1'-0"



6 SECOND FLOOR @ PORCH ROOF
A501 1" = 1'-0"



7 TYP. HOUSE FOUNDATION
A501 1" = 1'-0"



8 FOUNDATION @ GARAGE DOOR ALCOVE
A501 1" = 1'-0"

MATERIAL SPECIFICATIONS

- SHEATHING: SEE STRUCTURAL FOR SHEATHING REQUIREMENTS... PROVIDE TREATED PLYWOOD SHEATHING FOR THE FIRST 48" ABOVE GRADE.
WEATHER RESISTIVE BARRIER (WRB): MANUFACTURER: TYVEK... PRODUCT: DRAINWRAP.
SELF-ADHERED FLASHING (SAF): MANUFACTURER: DUPONT... PRODUCTS: DUPONT FLEXWRAP NF, DUPONT FLEXWRAP EZ, DUPONT STRAIGHTFLASH, DUPONT STRAIGHTFLASH VF, AND/OR DUPONT FLASHING TAPE.
ROOFING UNDERLAYMENT: HIGH-TEMPERATURE SELF-ADHERED UNDERLAYMENT... MANUFACTURER: MCELROY METALS, SHEFFIELD, OR PAC-LAD... PRODUCT: CONCEALED FASTENER SNAP-SEAM.
STANDING SEAM METAL ROOFING: MANUFACTURER: MCELROY METALS, SHEFFIELD, OR PAC-LAD... PRODUCT: CONCEALED FASTENER SNAP-SEAM.
SUB-FLOOR SHEATHING: MANUFACTURER: ADVANTECH OR EQUAL... PRODUCT: 3/4" TONGUE & GROOVE SHEATHING PANELS.
EXPOSED FLASHING: PRODUCT: COPPER (200Z).
CONCEALED FLASHING: PRODUCT: COPPER (200Z).
LIQUID MEMBRANE WATERPROOFING: MANUFACTURER: SEMCO... PRODUCT: SEMCO LIQUID MEMBRANE.
LAP SIDING: MANUFACTURER: JAMES HARDIE... PRODUCT: ARTISAN LAP SIDING.
HARDIEPANEL: MANUFACTURER: JAMES HARDIE... PRODUCT: HARDIEPANEL.
HARDIETRIM: MANUFACTURER: JAMES HARDIE... PRODUCT: HARDIETRIM.
BORAL TRU-EXTERIOR TRIM (TE TRIM): MANUF: WESTLAKE ROYAL BUILDING PRODUCTS... PRODUCT: TRU-EXTERIOR POLY-ASH TRIM.
FIBERGLASS COLUMN: MANUFACTURER: H&B BUILDING PRODUCTS... PRODUCT: PERMACAST PLUS SQUARE COLUMNS.
SPRAY FOAM INSULATION (OPEN & CLOSED CELL): PRODUCT: SPRAY FOAM INSULATION.
GUTTER: PRODUCT: 6" HALF-ROUND GUTTER.
HARDIESOFFIT: MANUFACTURER: JAMES HARDIE... PRODUCT: HARDIESOFFIT.
PVC TRIM: MANUFACTURER: AZEK & ROYAL BP... PRODUCT: PVC TRIMS & MOULDINGS.
KDAT TRIM: MANUFACTURER: COASTAL MILLWORKS (CM)... PRODUCT: KDAT TRIMS & MOULDINGS.

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Table with 2 columns: Field, Value. Includes PROJECT NO. (2306), CONTACT (LRD), DATE (1/21/2026), and SHEET.

A501

DETAILED SECTIONS

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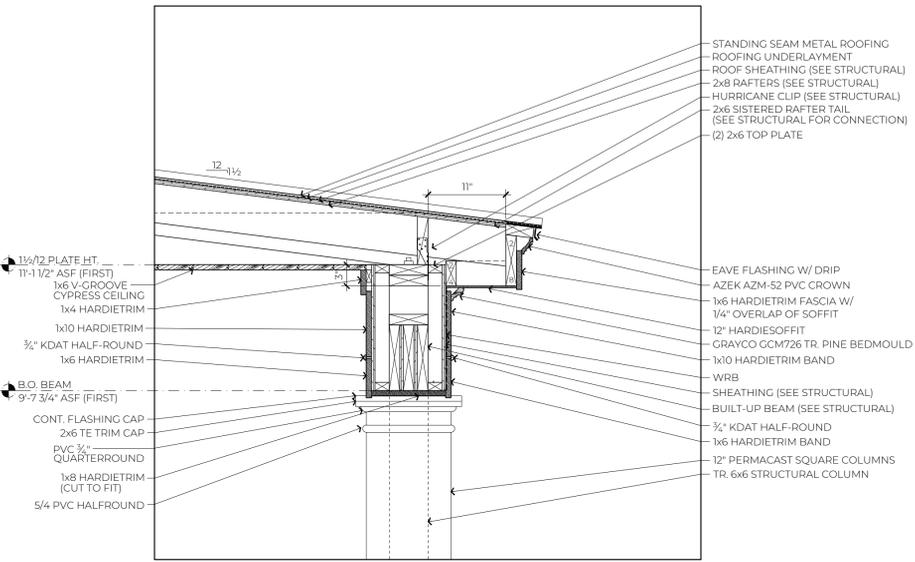
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PROJECT NO. 2306
CONTACT LRD
DATE 1/21/2026

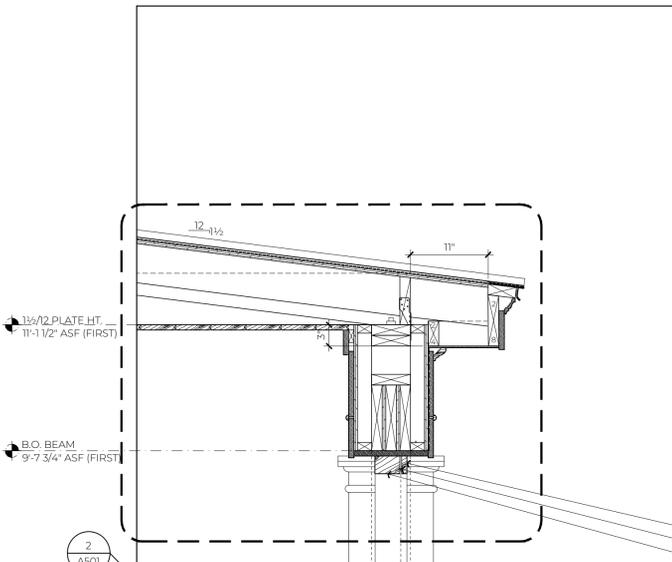
SHEET

A502

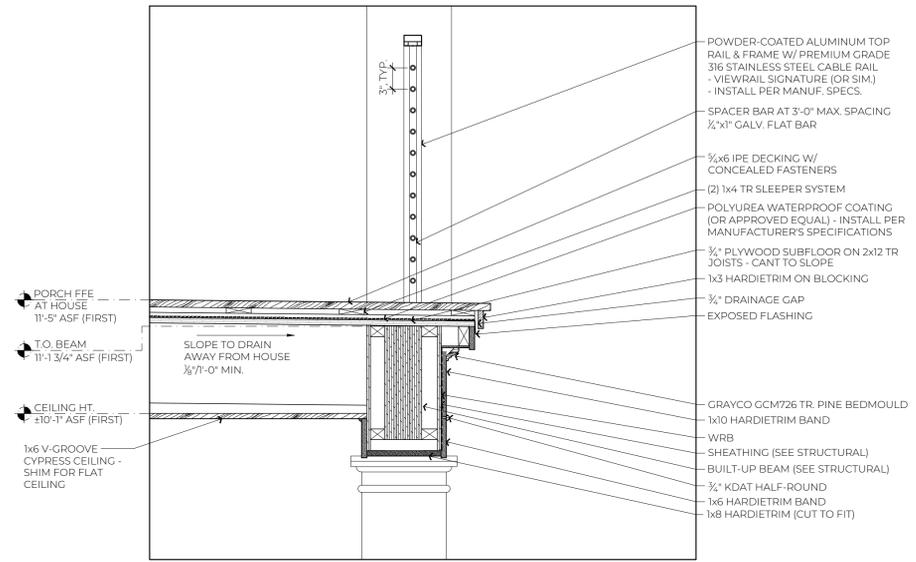
DETAILED SECTIONS



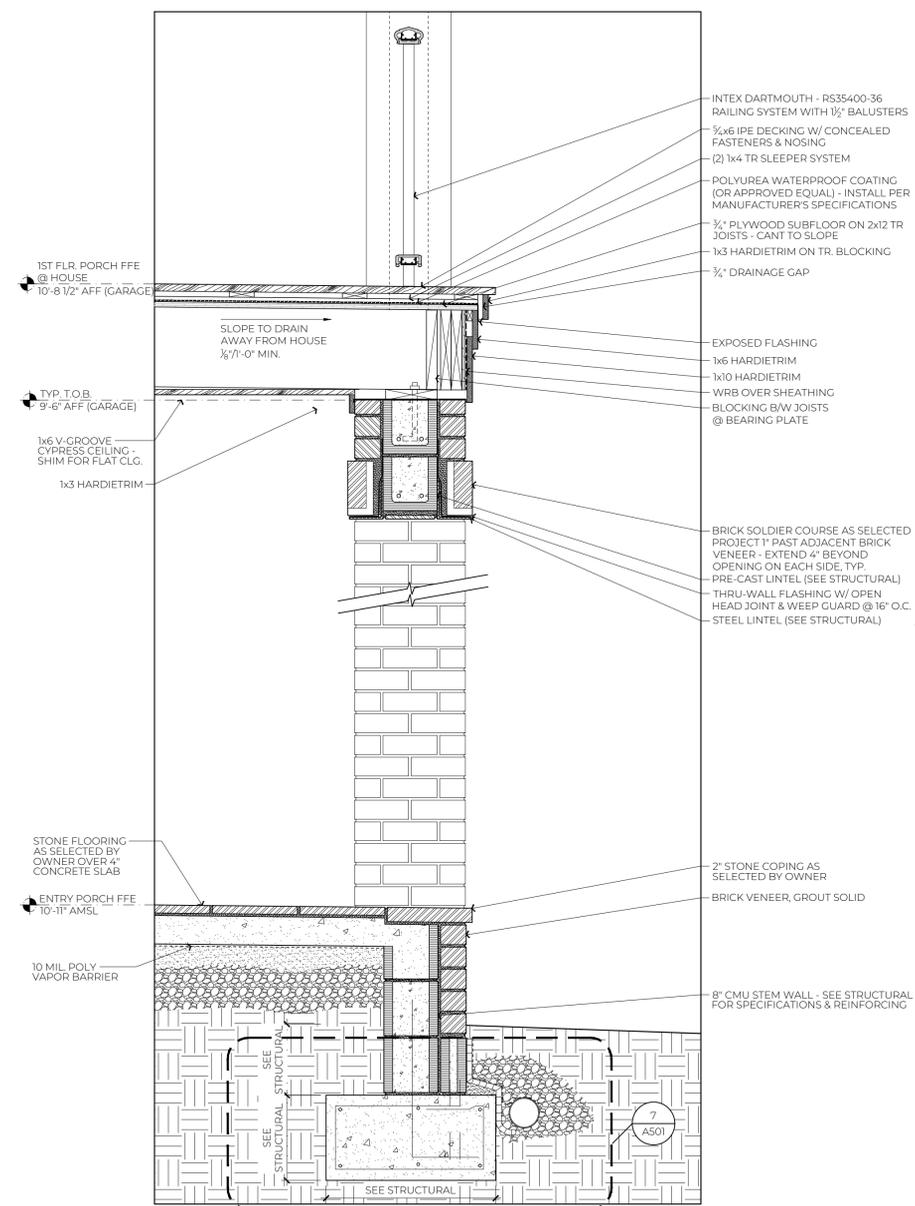
1 TYP. PORCH EAVE
A502 1" = 1'-0"



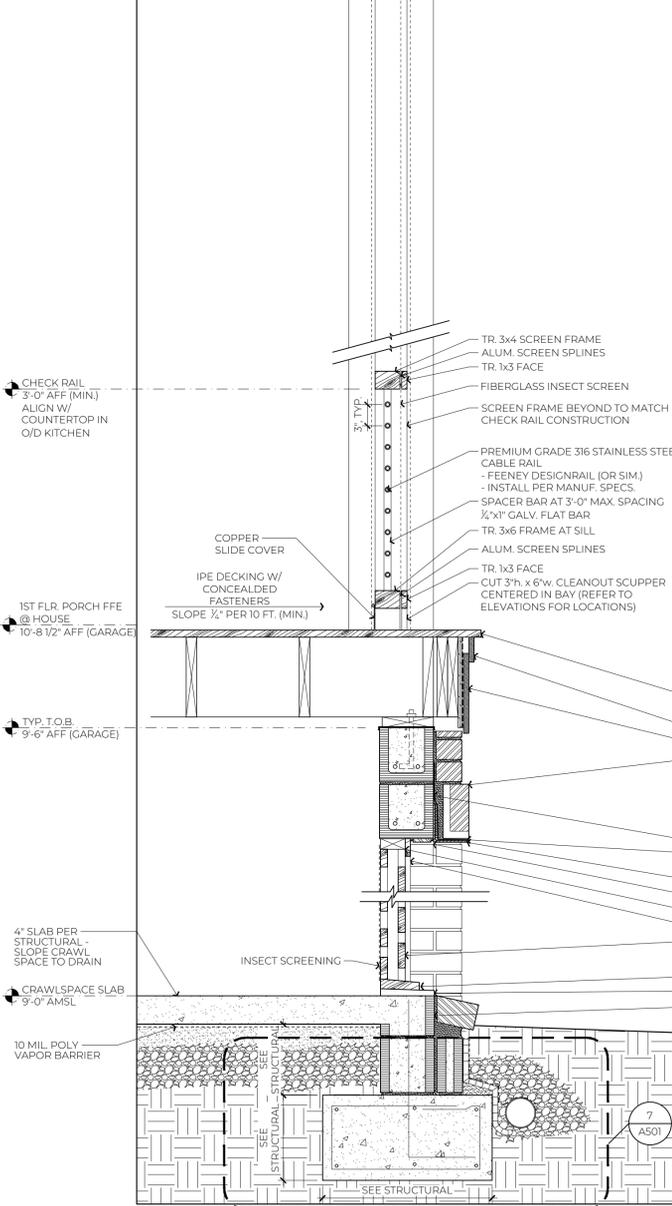
2 SCREENED PORCH
A501 1" = 1'-0"



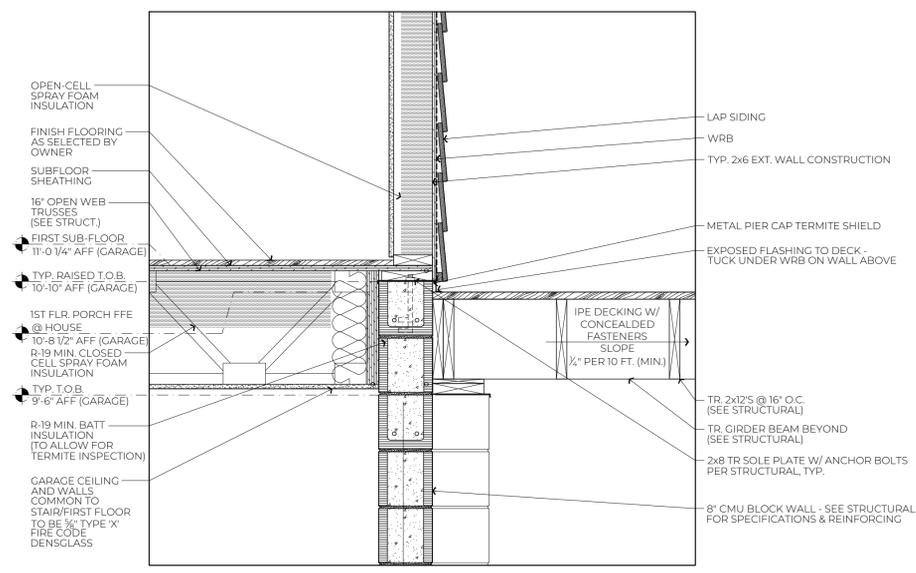
3 2ND FLOOR PORCH
A502 1" = 1'-0"



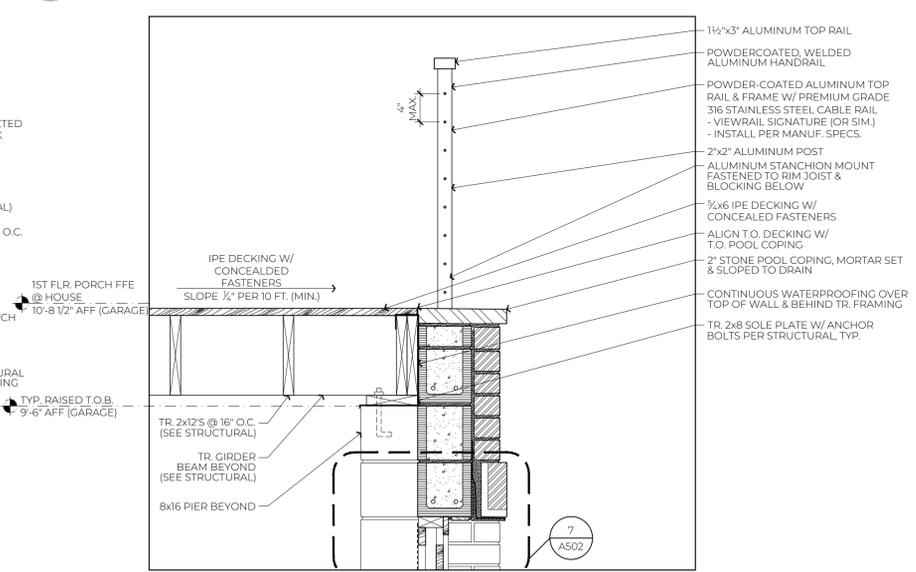
7 FRONT PORCH SECTION
A502 1" = 1'-0"



8 SCREENED PORCH SECTION
A503 1" = 1'-0"



6 HOUSE FOUNDATION @ PORCHES & TERRACE
A502 1" = 1'-0"



9 POOL TERRACE SECTION
A502 1" = 1'-0"



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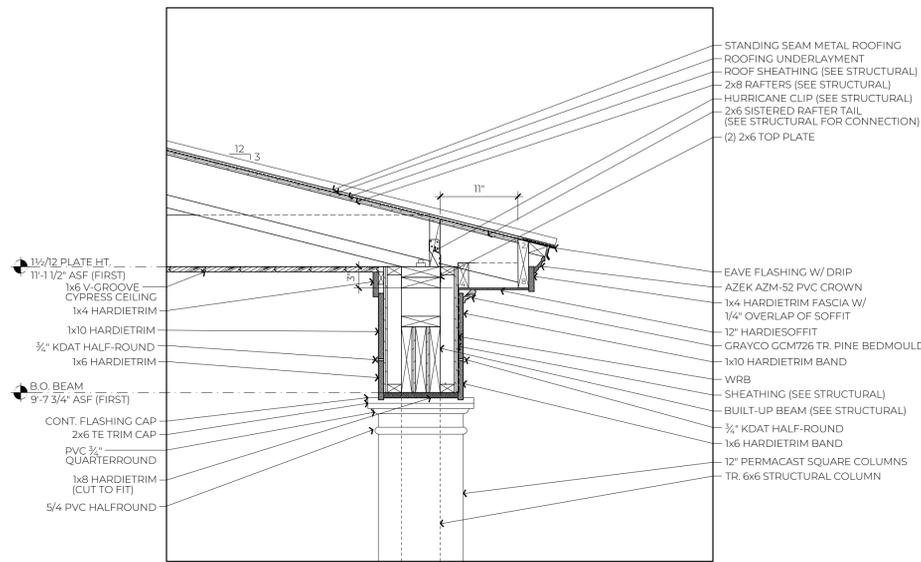
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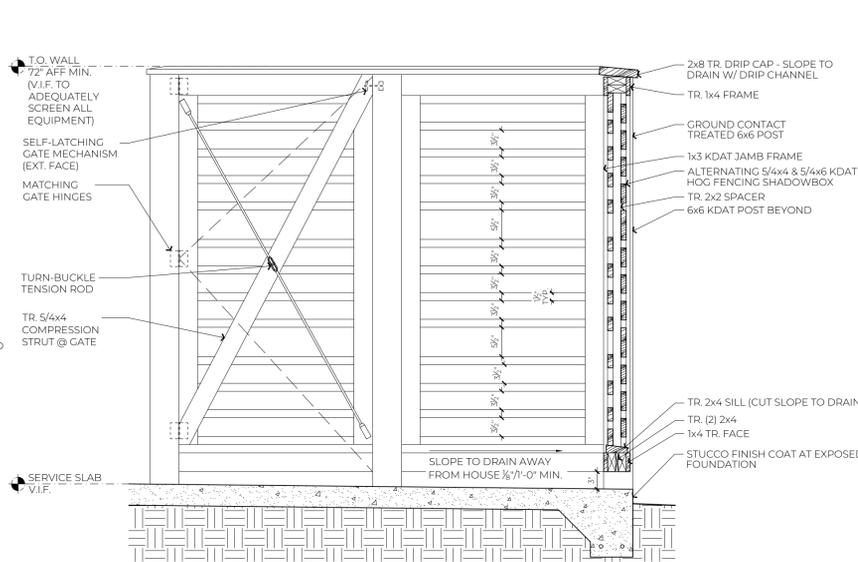
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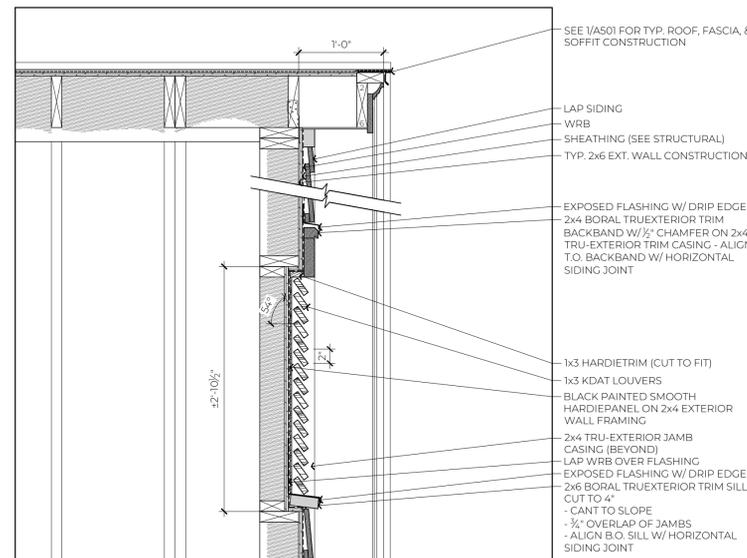
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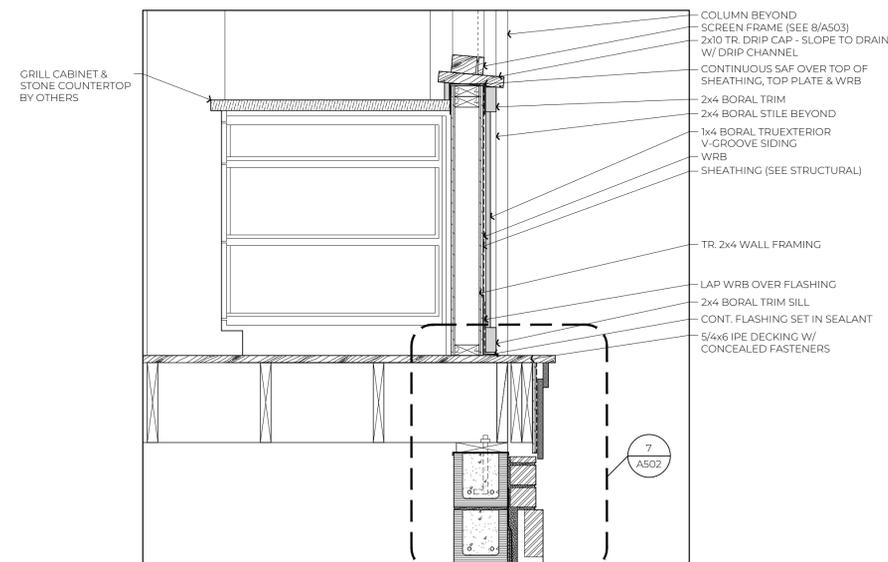
1 TYP. PORCH EAVE
A502 1" = 1'-0"



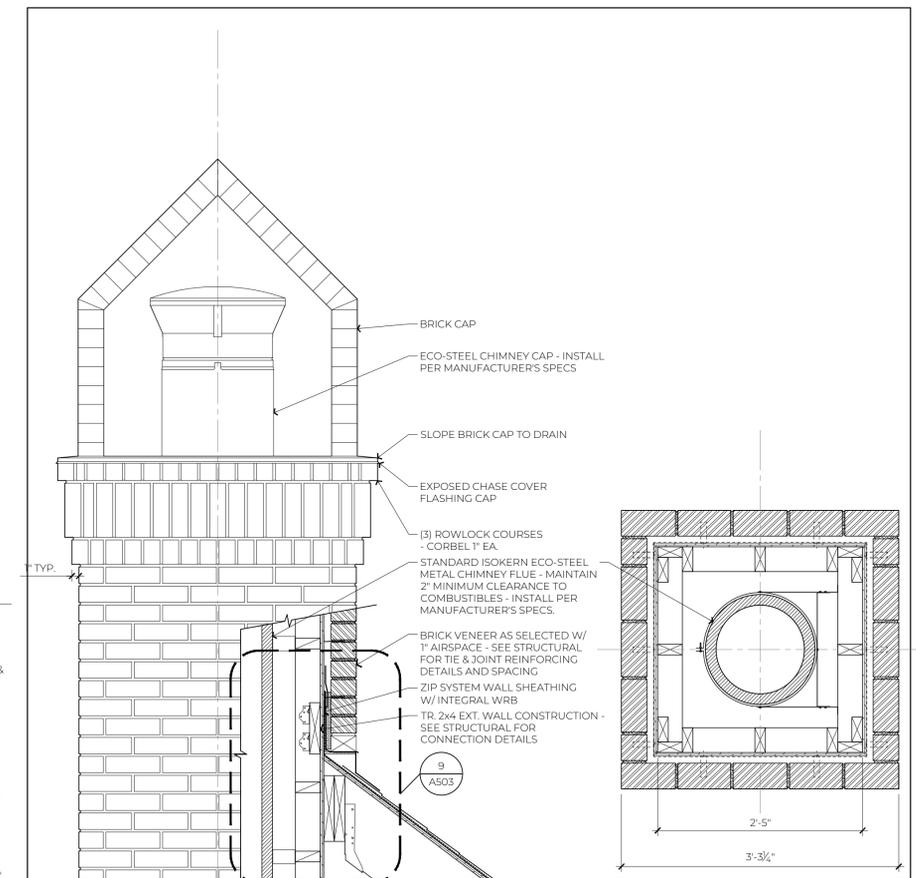
2 SERVICE ENCLOSURE
A503 3/4" = 1'-0"



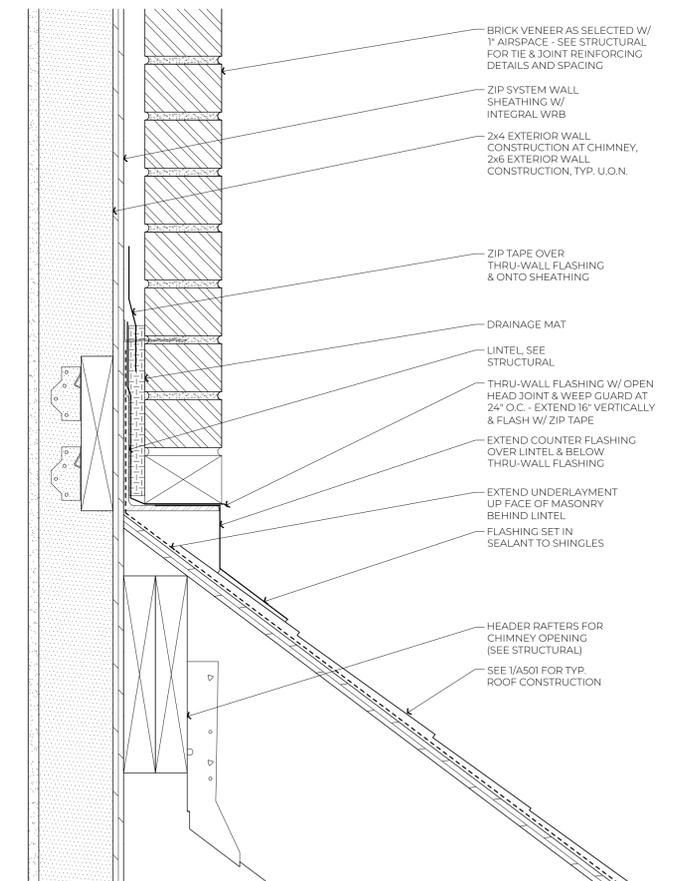
5 TYP. 10/12 RAKE & GABLE VENT
A503 1" = 1'-0"



8 GRILL PORCH WALL
A503 1" = 1'-0"



6 CHIMNEY
A503 1" = 1'-0"



9 ROOF FLASHING @ CHIMNEY
A503 3" = 1'-0"

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DETAILED SECTIONS



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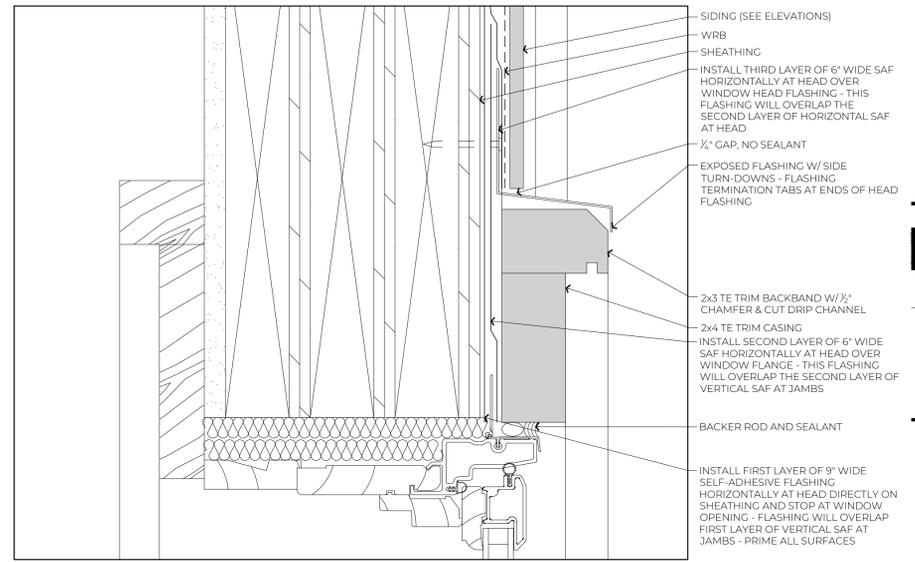
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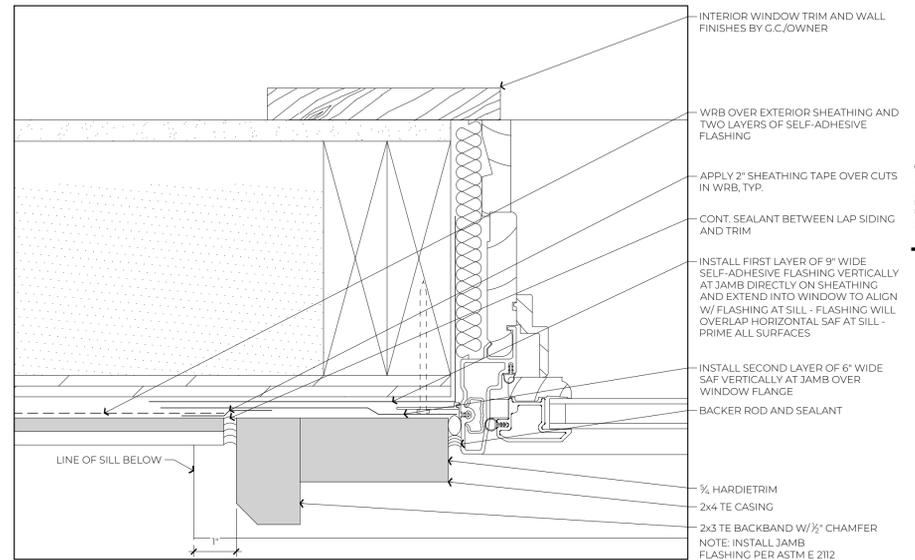
SHEET

A504

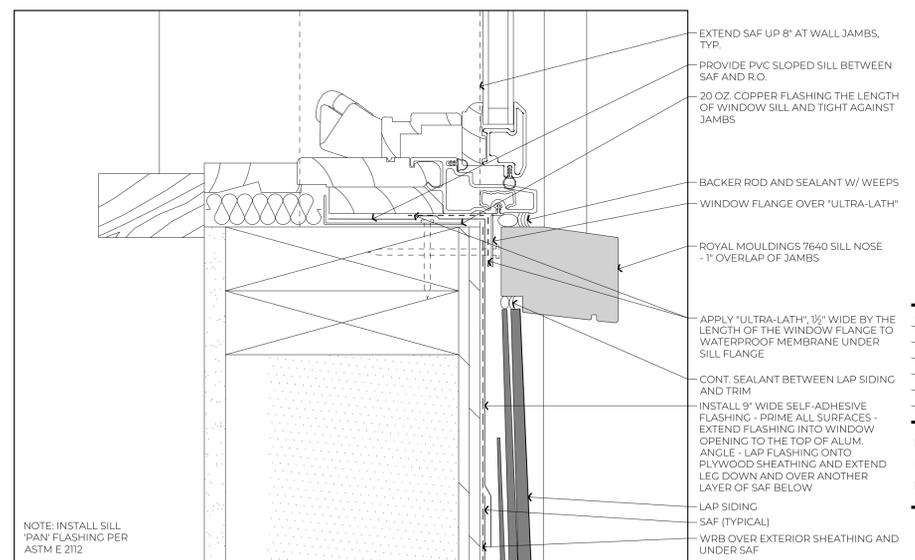
DETAILED SECTIONS



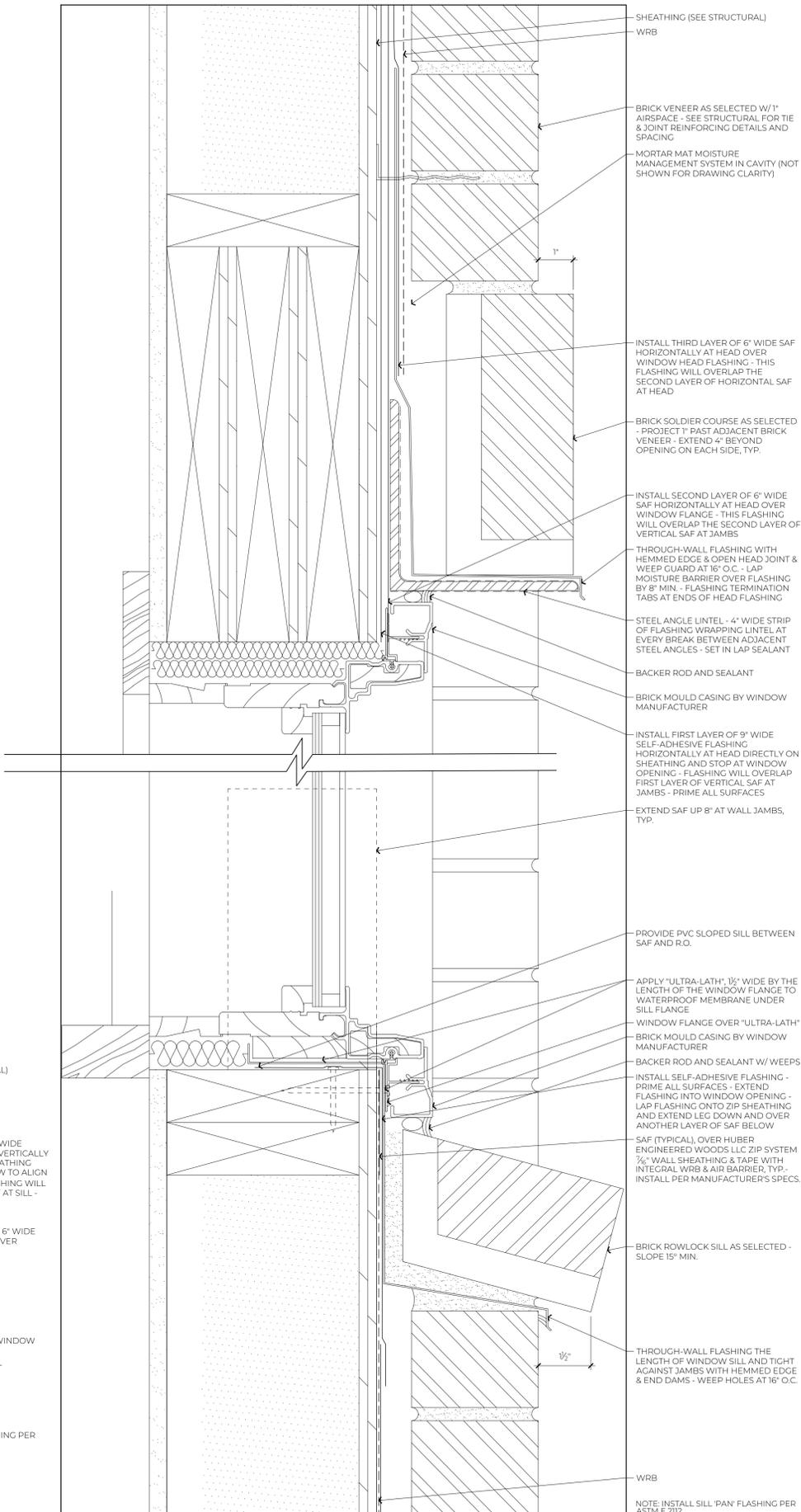
3A TYP WINDOW HEAD
A504 6" = 1'-0"



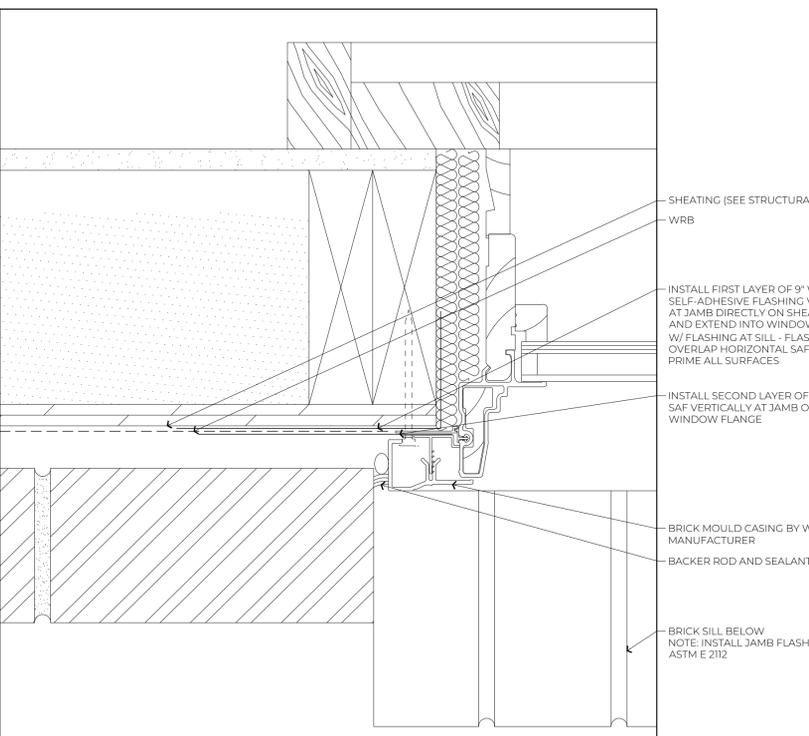
3B TYP WINDOW JAMB
A504 6" = 1'-0"



3C TYP WINDOW SILL
A504 6" = 1'-0"



2A WINDOW HEAD & SILL @ BRICK
A504 6" = 1'-0"



2B WINDOW JAMB @ BRICK
A504 6" = 1'-0"

2A WINDOW HEAD & SILL @ BRICK
A504 6" = 1'-0"

3A TYP WINDOW HEAD
A504 6" = 1'-0"

3B TYP WINDOW JAMB
A504 6" = 1'-0"

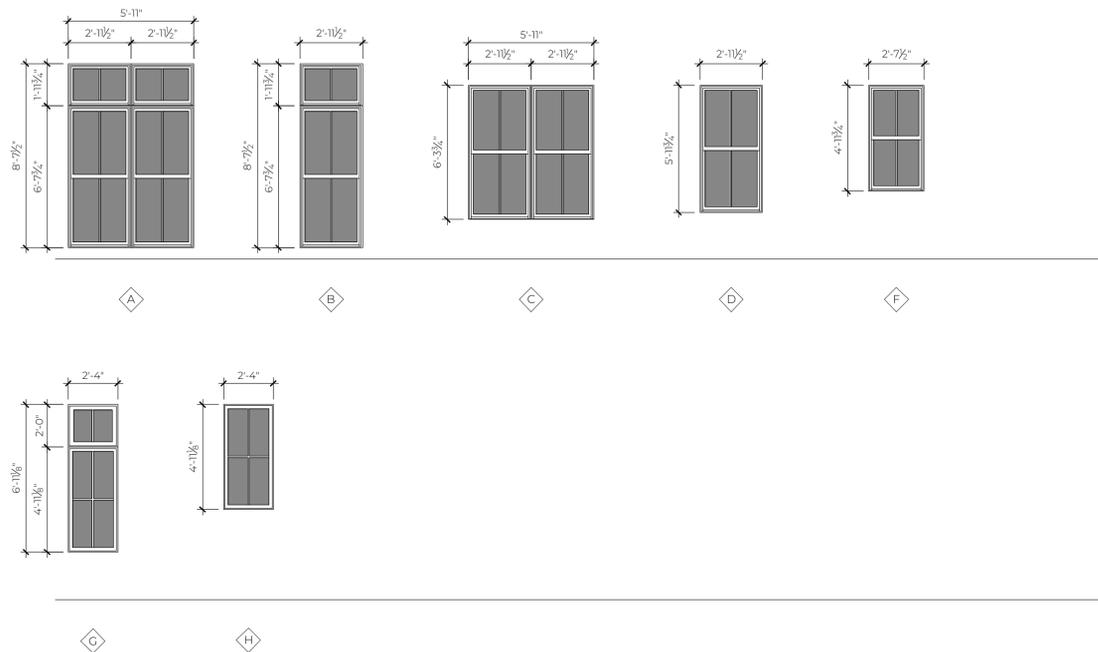
3C TYP WINDOW SILL
A504 6" = 1'-0"

WINDOW SCHEDULE

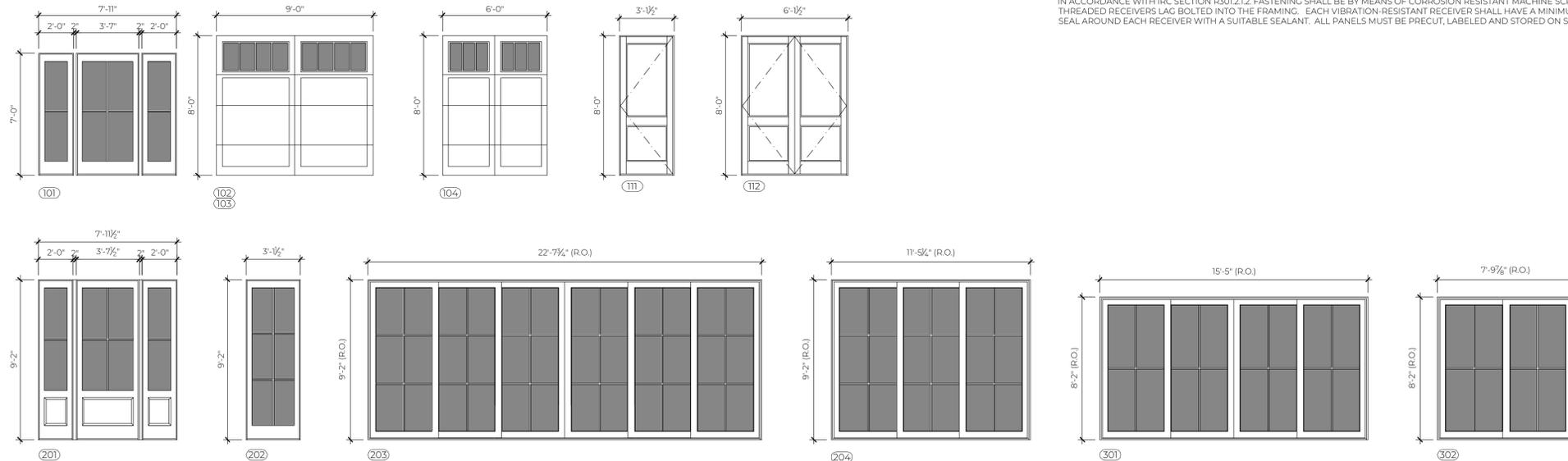
MARK	TYPE	LABEL	T.O. FRAME HEIGHT (SEE NOTE 2)	EXTERIOR MATERIAL	EXTERIOR FINISH	NOTES
A	DOUBLE HUNG PAIR W/ TRANSOM	C-H3DH-36x80 W/ C-H3DHT-36x80 2W	±9'-2"	ALUMINUM CLAD	T.B.D.	
B	DOUBLE HUNG W/ TRANSOM	C-H3DH-36x80 W/ C-H3DHT-36x80	±9'-2"	ALUMINUM CLAD	T.B.D.	
C	DOUBLE HUNG PAIR	C-H3DH-36x76 2W	±9'-2"	ALUMINUM CLAD	T.B.D.	
D	DOUBLE HUNG	C-H3DH-36x72	VARIABLES	ALUMINUM CLAD	T.B.D.	
F	DOUBLE HUNG	C-H3DH-32x60 2W	±8'-2"	ALUMINUM CLAD	T.B.D.	
G	CASEMENT W/ TRANSOM	C-H3CS-28x60 W/ C-H3FCS-28x24	±9'-2"	ALUMINUM CLAD	T.B.D.	
H	CASEMENT	C-H3CS-28x60	VARIABLES	ALUMINUM CLAD	T.B.D.	

- NOTE 1: SIZES ARE BASED ON SIERRA PACIFIC FEELSAFE H3. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: G.C. TO COORDINATE ALL WINDOW/DOOR HEAD JAMB HEIGHTS WITH EXTERIOR DOOR MANUFACTURER & INSTALLATION INSTRUCTIONS TO ENSURE BOTTOM OF ALL INT/EXT. WINDOW & DOOR HEAD JAMBS ALIGN WHERE APPLICABLE.
- NOTE 3: ALL WINDOWS TO HAVE 3/8" PUTTY SIMULATED DIVIDED LITES WITH SPACER BARS (SDL) AS SHOWN - SEE ELEVATIONS.
- NOTE 4: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112.
- NOTE 5: PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.
- NOTE 6: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 7: PROVIDE EGRESS AS REQUIRED TO MEET IRC §R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 8: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC §R308 FOR WINDOW GLAZING.
- NOTE 9: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION R301.2.12 OF THE IRC. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

WINDOW ELEVATIONS
FRAME SIZES SHOWN



DOOR ELEVATIONS
FRAME SIZES SHOWN U.N.O.



DOOR SCHEDULE

DOOR NO.	NOMINAL SIZE (SEE NOTES)			LABEL	TYPE	MATERIAL	REMARKS
	W	H	Th				
101	3'-6" (R.O. 8'-5')	7'-0"	2 1/2"		INSWING FRENCH DOORS	MAHOGANY	SEE ELEVATION, PROVIDE MATCHING MAHOGANY FRAME, STOPS & INTERIOR CASING & TRIM
102	9'-0"	8'-0"	2"	NOTE 5	OVERHEAD GARAGE DOOR	COMPOSITE	SEE ELEVATION
103	9'-0"	8'-0"	2"	NOTE 5	OVERHEAD GARAGE DOOR	COMPOSITE	SEE ELEVATION
104	6'-0"	8'-0"	2"	NOTE 5	OVERHEAD GARAGE DOOR	COMPOSITE	SEE ELEVATION
105	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	FIBERGLASS	SEE ELEVATION
106	3'-0"	7'-0"	1 1/2"	NOTE 6	PANEL	MDF	
107	3'-0"	7'-0"	1 1/2"	NOTE 6, 20 MIN. RATED	PANEL	MDF	COMPOSITE JAMBS - 20 MIN. FIRE-RATED
108	3'-0"	7'-0"	1 1/2"	NOTE 6, 20 MIN. RATED	PANEL	MDF	COMPOSITE JAMBS - 20 MIN. FIRE-RATED
109	3'-0"	7'-0"	1 1/2"	NOTE 6	PANEL	MDF	
110	3'-0"	7'-0"	1 1/2"	THERMATRU SMOOTHSTAR SSF220	OUTSWING DOOR	FIBERGLASS	SEE ELEVATION - 20 MIN. FIRE RATED
111	3'-0"	7'-0"	1 1/2"	THERMATRU SMOOTHSTAR S220	OUTSWING DOOR	FIBERGLASS	SEE ELEVATION
112	(2) 3'-0"	7'-0"	1 1/2"	THERMATRU SMOOTHSTAR SSF220 PAIR	OUTSWING DOOR PAIR	FIBERGLASS	SEE ELEVATION - 20 MIN. FIRE RATED
201	3'-6" (R.O. 8'-0")	9'-0"	2 1/2"		INSWING FRENCH DOOR	MAHOGANY	SEE ELEVATION, PROVIDE MATCHING MAHOGANY FRAME, STOPS & INTERIOR CASING & TRIM
202	3'-0"	9'-0"	1 1/2"		OUTSWING FRENCH DOOR	ALUM. CLAD WOOD	
203	22'-7 1/2"	9'-0"	2 1/2"	C-LSS-4890-60XXXXO	STACKING LIFT-SLIDE	ALUM. CLAD WOOD	
204	11'-5 1/2"	9'-0"	2 1/2"	C-LSS-4890-3XXO	STACKING LIFT-SLIDE	ALUM. CLAD WOOD	
205	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
206	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
207	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
208	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
209	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
210	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
211	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
212	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
213	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
214	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
301	15'-0"	8'-0"	2 1/2"	C-LSS-4880-40XXO	STACKING LIFT-SLIDE	ALUM. CLAD WOOD	
302	7'-8"	8'-0"	2 1/2"	C-LSS-4880-2XO	STACKING LIFT-SLIDE	ALUM. CLAD WOOD	
303	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
304	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
305	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
306	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
307	(2) 2'-2"	8'-0"	1 1/2"	NOTE 6	PANEL, PAIR	MDF	
308	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
309	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
310	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
311	2'-4"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
312	3'-0"	8'-0"	1 1/2"	NOTE 6	PANEL	MDF	
313	2'-8"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
314	2'-8"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	
315	2'-8"	8'-0"	1 1/2"	NOTE 6	PANEL, POCKET	MDF	

- NOTE 1: EXTERIOR WOOD CLAD DOOR SIZES ARE BASED ON SIERRA PACIFIC H3 FEELSAFE UNLESS OTHERWISE NOTED. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: DOOR HEIGHTS NOTED ARE FRAME SIZE FOR EXTERIOR DOORS & PANEL SIZE FOR INTERIOR DOORS. G.C. TO COORDINATE ALL WINDOW/DOOR HEAD JAMB HEIGHTS WITH EXTERIOR DOOR MANUFACTURER & INSTALLATION INSTRUCTIONS TO ENSURE BOTTOM OF ALL INT/EXT. WINDOW & DOOR HEAD JAMBS ALIGN WHERE APPLICABLE.
- NOTE 3: ALL DOORS TO HAVE 3/8" PUTTY SIMULATED DIVIDED LITES WITH SPACER BARS (SDL) AS SHOWN - SEE ELEVATIONS.
- NOTE 4: NOT USED
- NOTE 5: ALL OVERHEAD GARAGE DOORS TO BE CLOPAY CANYON RIDGE CARRIAGE HOUSE; DESIGN 11; REC13 OR 14 AS SHOWN; CLEAR GLASS
- NOTE 6: ALL INTERIOR DOORS TO BE ECCO STILE & RAIL. G.C. TO ADJUST HEIGHT AS REQUIRED TO ALIGN T.O. HEAD JAMB WITH ALL APPLICABLE EXTERIOR WINDOW AND DOOR HEAD JAMBS.
- NOTE 7: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112.
- NOTE 8: PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.
- NOTE 9: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 10: PROVIDE EGRESS AS REQUIRED TO MEET IRC §R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 11: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC §R308 FOR DOOR GLAZING.
- NOTE 12: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION R301.2.12. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.



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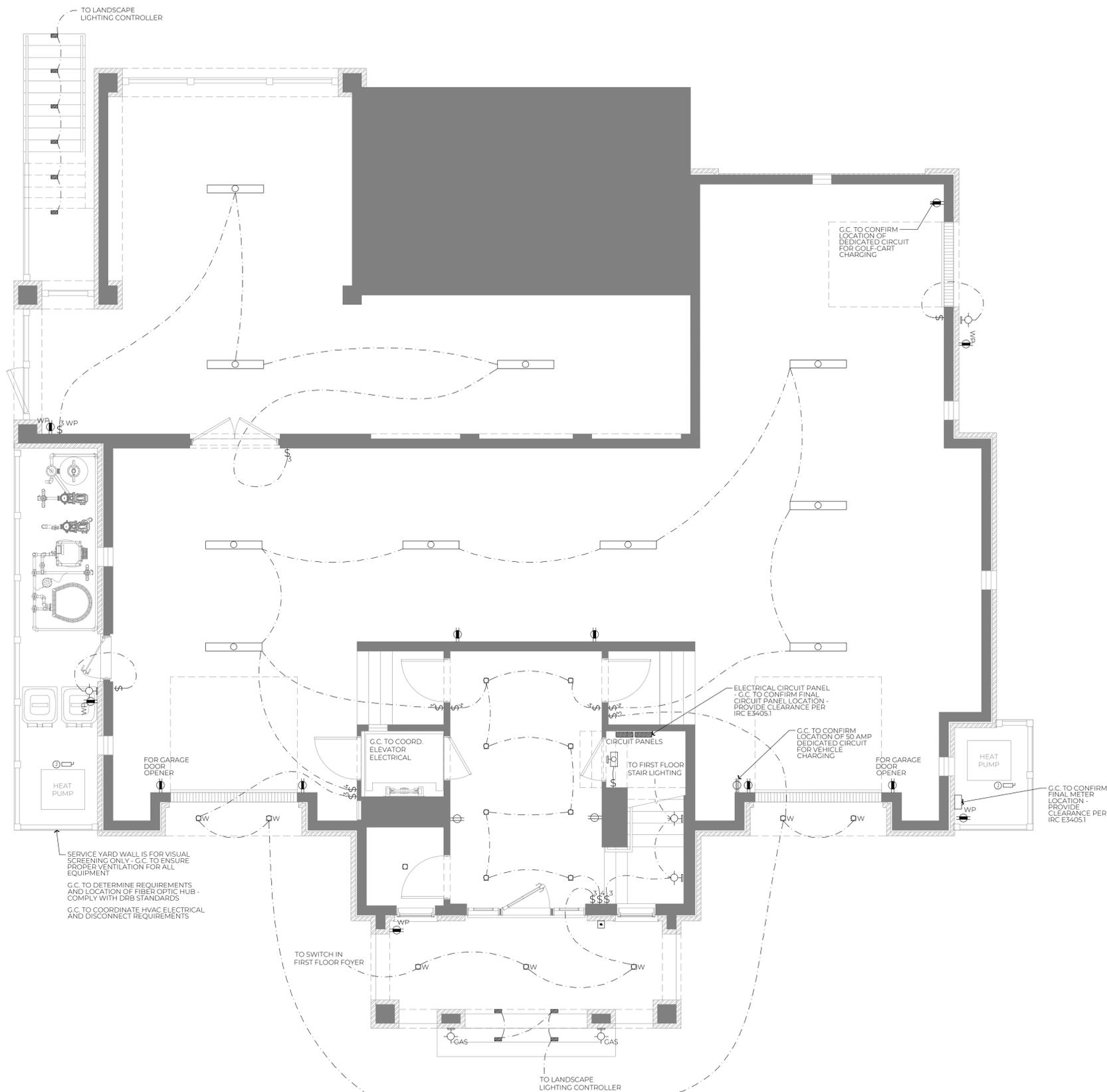
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DATE 1/21/2026

SHEET

A601

DOOR & WINDOW SCHEDULES



ELECTRICAL LEGEND

	DUPLEX RECEPTACLE
	QUADRUPLX RECEPTACLE
	SWITCHED RECEPTACLE
	220 V RECEPTACLE
	FLOOR MOUNTED OUTLET
	GFCI RECEPTACLE
	GFCI RECEPTACLE MOUNTED ABOVE COUNTER
	GFCI WEATHERPROOF RECEPTACLE
	DATA/PHONE
	CABLE TV JACK
	RECESSED CAN LIGHT
	DIRECTIONAL RECESSED CAN LIGHT
	RECESSED SEALED SHOWER FIXTURE
	PIN LIGHT
	WALL-MOUNTED FIXTURE
	WALL-MOUNTED VANITY FIXTURE
	JUNCTION BOX
	STEP LIGHT
	2x4 FLUORESCENT
	2x2 FLUORESCENT
	4' LED ENCLOSED & GASKETED INDUSTRIAL FIXTURE
	24' FLUORESCENT STRIP LIGHT
	LED TAPE LIGHTING (UNDERCOUNTER OR COVE UPLIGHTING)
	TOE-KICK LIGHTING
	EXHAUST FAN
	FAN/LIGHT COMBINATION
	CEILING FAN
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	JAMB SWITCH
	SWITCH IN WEATHERPROOF BOX
	SWITCH W/ DIMMER CONTROL
	SWITCH W/ INDICATOR LIGHT
	LUTRON RADIO RA KEYPAD SWITCH
	ELECTRICAL METER
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOORBELL PUSH BUTTON
	DOORBELL CHIME



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1 GROUND FLOOR ELECTRICAL PLAN
AE101 1/4" = 1'-0"

AE101
GROUND FLOOR
ELECTRICAL PLAN



ELECTRICAL NOTES

1. ALL FIXTURES BY G.C./OWNER.
2. ALL OUTLETS TO BE INSTALLED HORIZONTALLY, CENTERED ON WINDOWS, AND IN BASEBOARDS WHEREVER POSSIBLE.
3. ALL SWITCHES TO BE INSTALLED AT 42" ASF UNLESS OTHERWISE NOTED. G.C. TO COORD. SWITCH HEIGHT AT COUNTERTOP LOCATIONS TO COORDINATE WITH FINAL BACK SPLASH SELECTIONS.
4. G.C./OWNER TO SELECT SWITCH AND PLATE STYLES.
5. G.C./OWNER TO COORDINATE DIMMER SWITCH LOCATIONS.
6. G.C./OWNER TO COORDINATE LOCATION AND HEIGHT OF ALL WALL-MOUNTED JUNCTION BOXES.
7. ALL APPLIANCE AND CABINERY LOCATIONS ARE APPROXIMATE. G.C./OWNER TO COORDINATE FINAL DESIGN LOCATION, AND PLACEMENT. G.C./OWNER TO COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS. POWER REQUIREMENTS TO MEET ALL APPLICABLE BUILDING CODES.
8. G.C./OWNER TO DETERMINE THE EXTENT OF, AND COORDINATE THE INSTALLATION OF, ANY/ALL SMART HOUSE TECHNOLOGY.
9. G.C./OWNER TO COORDINATE ALL TELEPHONE, COMMUNICATIONS, AV, AND SPEAKER OUTLET LOCATIONS AND EQUIPMENT INSTALLATION.
10. G.C./OWNER TO DETERMINE AND COORDINATE ALL LANDSCAPE LIGHTING WITH LANDSCAPE ARCHITECT IN COMPLIANCE WITH THE DRB.
11. G.C./OWNER TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
12. G.C./OWNER TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RINNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACKUP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
13. G.C./OWNER TO DETERMINE FINAL HVAC ZONING REQUIREMENTS AND DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
14. G.C./OWNER TO DETERMINE AND COORDINATE IF GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND/OR SURGE PROTECTION IS TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
15. G.C. TO VERIFY SIZING OF ELECTRICAL SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH G.C./OWNER IN FIELD.
16. G.C./OWNER TO VERIFY ALL SWITCH AND POWER LOCATIONS IN THE FIELD AND VERIFY THAT THE POWER AND LIGHTING DISTRIBUTION COMPLIES WITH IRC E3901-E3903.
17. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC E3902.16.
18. G.C./OWNER TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER IRC M305.1.3.1.
19. G.C./OWNER TO COORDINATE LOCATIONS & INSTALLATION OF SMOKE DETECTORS AS REQUIRED PER IRC R314.
20. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO IRC E3607-E3611.
21. NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER IRC N104.1.
22. ALL ELECTRICAL SYSTEMS, EQUIPMENT, AND COMPONENTS SHALL BE LOCATED AT OR ABOVE THE DESIGN FLOOD ELEVATION PER IRC R322.1.6.



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1 FIRST FLOOR ELECTRICAL PLAN
AE102 1/4" = 1'-0"

AE102
FIRST FLOOR
ELECTRICAL PLAN

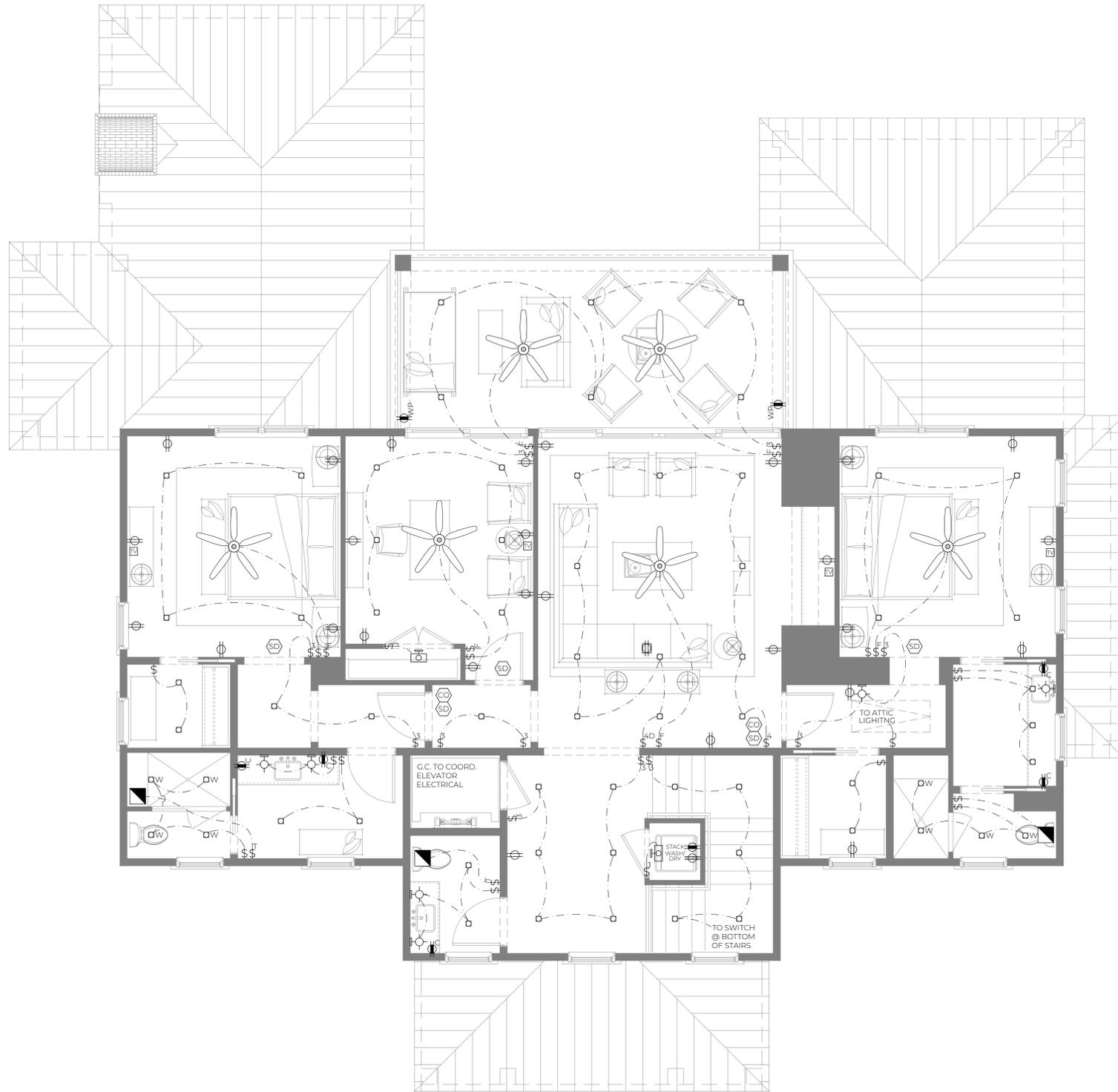


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1 SECOND FLOOR ELECTRICAL PLAN
AE103 1/4" = 1'-0"

AE103
SECOND FLOOR
ELECTRICAL PLAN